

**Legal Notice**  
**City of Loveland City Council**

Loveland City Council will hold a public hearing on Tuesday, January 13, 2026 at or around 7:00 p.m. in the Council Chambers located at Loveland City Hall, 120 W. Loveland Ave., Loveland, Ohio 45140.

The purpose of the hearing is to receive public comments on a proposed zoning text and map amendment to the City of Loveland Code of Ordinances for a Special Planning District (SPD) – Highlands of Loveland located at the intersection of Highland St and West Main St.

Information about the proposed SPD is available for review at City Hall during normal business hours, Monday through Friday or on the City's homepage [www.lovelandoh.gov](http://www.lovelandoh.gov).

Interested persons may appear and be heard with respect to the proposed SPD. Comments may also be submitted in writing to Misty Clark, Clerk of Council, 120 W. Loveland Avenue, Loveland, OH 45140 or emailed to [mclark@lovelandoh.gov](mailto:mclark@lovelandoh.gov).

Individuals with disabilities requiring special accommodation that are participating in or wish to attend this hearing should call 513-683-0150 at least seven (7) days in advance so arrangements can be made.



# City of Loveland

## CITY OF LOVELAND CITY COUNCIL NOTICE OF FINAL ACTION

December 4, 2025

**Ref:** Case #25-04 – Highlands of Loveland Special Planning District (SPD) #20  
Application to Consider the Formal Zoning Map & Text Amendment for SPD #20

This correspondence shall serve as **Notice of Final Action** by the City of Loveland City Council, regarding the above-referenced application filed by:

**JA Development, LLC**  
**7594 Tylers Place Blvd**  
**West Chester, Ohio 45069**

The above-referenced application sought the initiation of a Formal Zoning Map and Text Amendment required pursuant to Chapter 1151, Section 1151.02(b)(2) of the Planning and Zoning Code for the City of Loveland, Ohio for a previously established Special Planning District (SPD) that was adopted via City Council Resolution, pursuant to Chapter 1151, Section 1151.02(b)(1) and 1151.03 of the SPD regulations contained within the Planning and Zoning Code for the City of Loveland. Specifically, Special Planning District #20 ("Highlands of Loveland") was established via City Council Resolution 2025-91, adopted on November 12, 2025. As per the requirements of Chapter 1151, Section 1151.07, upon receipt of the above-referenced application, the Planning and Zoning Commission held a public hearing on December 2, 2025, to consider the request to amend the map and zoning text relative to SPD #20.

At the conclusion of the public hearing and as required by Section 1151.07 of the SPD Regulations, the Planning and Zoning Commission took action consistent with the requirements of Section 1151.08 and Section 1151.02(b)(2) to unanimously adopt a motion **formally recommending in favor of the proposed zoning map and text amendment for Special Planning District #20/ "Highlands of Loveland" to City Council as submitted, and incorporating the Required Findings per Chapter 1151, Section 1151.08 of the Special Planning District Regulations, as follows:**

**Required Findings per Chapter 1151, Section 1151.08:**

- 1) As per 1151.08(a)(1), there has been a change in demand for land which alters the information upon which the zoning map is based. The proposal incorporates an innovative ownership model allowing for owner occupied housing rather than rental units as currently approved. This introduces new ownership opportunities for a part of the city that is currently limited in stock while reinvesting in the neighborhood.
- 2) As per 1151.08(a)(3), the proposed uses cannot be accommodated by sites already zoned in the City due to lack of transportation or utilities or other development constraints, or the market to be served by the proposed use cannot be effectively served by the location of the existing zoning district. The proposal provides neighborhood compatibility with similarly scaled housing as the nearby rental apartments while offering a different tenure model with more long-term investment. The proximity of the project to single family homes as well as multi-family structures provides additional opportunities for ingenuity of design, thereby delivering

a development product that serves as a transition from multi-family to single-family within the area.

- 3) As per 1151.08(a)(5), the proposed development, based on the land practice, is well suited for an SPD. The development allows for a unique owner-occupied model while also providing a transition to the multi-family developments which surround it.
- 4) As per 1151.08(b), no residentially zoned district is being rezoned to a non-residential SPD district. The proposed SPD will not result in residentially zoned land being rezoned to accommodate a non-residential SPD district since the proposed use is clearly residential in character. Also, the property is not proposed for annexation as it is already located within the City's incorporated limits.
- 5) As per 1151.08(c)(1), the proposed amendment and the proposed use comply with adopted plans, goals, and policies. The proposed development is consistent with the recommendations of the adopted 2022 Comprehensive Master Plan, by embracing opportunities for infill development without sacrificing open space or investing in major infrastructure improvements.
- 6) As per 1151.08(c)(2), the property in question is suitable for the uses permitted under the proposed zoning. The property is well-suited for the proposed development and SPD designation as it is a complimentary transition between single family and multi-family in the area.
- 7) As per 1151.08(c)(3), adequate public facilities such as transportation, utilities, and other required public services exist to serve the proposed use. Adequate utilities exist to serve the proposed development. The existing street network will be utilized for access.
- 8) As per 1151.08(c)(4), the proposed rezoning will not have an adverse impact upon surrounding uses. The proposed development will not have an adverse impact on surrounding uses because the development's density is similar to the surrounding area. Since the project is decidedly residential in character, there is no anticipated impact to properties immediately adjacent to the project. Appropriate buffer yard areas have also been included to address potential deleterious impacts to surrounding properties.
- 9) As per 1151.08(c)(5), the proposed rezoning will have a positive impact upon the economic viability of existing developed and vacant land within the City. The proposed rezoning will allow for creative development to occur in near proximity to the City's Loveland Heights area. The proposal incorporates an innovative ownership model allowing for owner occupied housing rather than rental units. This introduces new ownership opportunities for a part of the city that is currently limited in stock while reinvesting in the neighborhood.
- 10) As per 1151.08(d), the proposed amendment accommodating SPD #20 is in the public interest.

As part of the motion recommending for the adoption of the proposed zoning map and text amendment for SPD #20 / "Highlands of Loveland", the Planning and Zoning Commission directed that this **Notice of Final Action** documenting the recommendation of the Commission be immediately forwarded to City Council, thereby satisfying the requirements that the recommendation of the Commission be forwarded to Council within thirty-five (35) days of the close of the public hearing to consider the zoning map and text amendment for the SPD, as per Part 11, Title 3, Chapter 1151, Section 1151.08(f) of the Planning and Zoning Code.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read 'C. Wojnicz', with a long, sweeping horizontal line extending to the right.

Chris Wojnicz, PE, LEED AP  
Assistant City Manager

cc David Kennedy, City Manager, email  
Eva Wisby, email  
File



**Resolution adopting Findings of Fact, Conceptual Plan and Development Guidelines for the establishment of a Special Planning District #20 in accordance with Part 11, Title 3, Chapter 1151 of the Loveland Code of Ordinances**

**WHEREAS**, pursuant to Section 1151.01 of the Loveland Planning and Zoning Code, the purpose and scope of a Special Planning District ("SPD") is to regulate the development and use of property in areas throughout the City that contain sensitive or unique environmental, historic, architectural, or other features which require additional protections and flexibility not provided through the application of the current standard Zoning Ordinance, and to promote creative and sensitive site planning; and

**WHEREAS**, it is further the intent of the SPD process to provide an effective method for the City to guide the development of such areas so as to preserve such unique characteristics; and

**WHEREAS**, a developer wishes to utilize the SPD zoning classification to construct a twenty-three unit single family attached residential development on approximately 1.7433 +/- acres, to be known as the Highlands of Loveland, located at the intersection of Highland Street and West Main Street, Loveland Ohio 45140 on parcels 62100060013, 62100060012, 62100060267, 62100060266, 62100060265, 62100060264, 62100060263, 62100060262, 62100060261, 62100060259, 62100060260 as identified by the Hamilton County Auditor; and

**WHEREAS**, Loveland City Council ("City Council") was presented with a concept plan, development guidelines and finding of facts related to the proposed development.

**NOW, THEREFORE BE IT RESOLVED** by the Council of the City of Loveland, Hamilton, Clermont and Warren County, Ohio:

**Section 1.** City Council finds that the Highlands of Loveland is to be developed on land that is situated in such a manner as to allow for ingenuity, imagination, and design efforts on the part of the builders, architects, site planners, and developers, thereby keeping with the overall land use intensity and open space objectives of the 2022 Comprehensive Master Plan for the City of Loveland while departing from the strict application of use, setback, height, and minimum lot size requirements contained in the Zoning Code, in accordance with Section 1151.03(c) of the of the Codified Ordinances of the City of Loveland, Ohio.

**Section 2.** City Council further finds that a Special Planning District for the Highlands of Loveland will be consistent with the goals of the 2022 Comprehensive Master Plan for the City of Loveland, Ohio.

**Section 3.** The proposed Special Planning District pursuant to Section 1151.03 (c) of the Loveland Code of Ordinances will be identified as "Special Planning District 20."



**Section 4.** City Council, in accordance with Section 1151.03 of the City of Loveland Code of Ordinances hereby adopts the Written Findings of Fact in furtherance of the establishment of Special Planning District 20, attached as **Exhibit A** to this Resolution and incorporated herein by reference.

**Section 5.** In accordance with Section 1151.04 of the City of Loveland Code of Ordinances, City Council hereby adopts the Required Conceptual Plan governing development and land use within Special Planning District 20, attached as **Exhibit B** to this Resolution and incorporated herein by reference.


**Section 6.** In accordance with 1151.05 of the City of Loveland Code of Ordinances, City Council hereby establishes Development Guidelines for development within Special Planning District 20, attached as **Exhibit C** to this Resolution and incorporated herein by reference.

**Section 7.** Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

**Section 8.** That this resolution shall take effect from and after the earliest time allowed by law.

  
\_\_\_\_\_  
Mayor  
  
\_\_\_\_\_  
Clerk of Council

Approved as to Form:

  
\_\_\_\_\_  
City Solicitor

Passed: 11-12-2025

**EXHIBIT "A"**

Special Planning District (SPD) 20

Highlands of Loveland

Written Findings of Fact Pursuant to  
Section 1151.03

## FINDINGS OF FACT

### 1151.03 Required Findings of Fact For the Establishment of an SPD District

In accordance with Section 1151.03, for Council to adopt a Special Planning District (SPD) it must first make a written findings of fact, that one or more of the following requirements exist:

- (a) A concentration of retail and service oriented commercial establishments serving as a principal business activity center for the community.
- (b) Land that is occupied by substantial natural characteristics worthy of preservation or which are historic aids to the identification of residential communities which help residents relate to their communities and to relate the social organization of communities to their physical environments.
- (c) **Lands which permit for ingenuity, imagination, and design efforts on the part of builders, architects, site planners, and developers that can produce residential developments which are in keeping with overall land use intensity and open space objectives of the Comprehensive Plan while departing from the strict application of use, setback, height, and minimum lot size requirements contained in the Zoning Code.**

Based on a review of the supporting materials, the proposed SPD meets 1151.03 (c) as highlighted above.

The proposal incorporates an innovative ownership model allowing for owner occupied housing rather than rental units as currently approved. This introduces new ownership opportunities for a part of the city that is currently limited in stock while reinvesting in the neighborhood.

The proposal utilizes creative site planning and architectural design maximizing private outdoor areas and incorporating garage parking, a significant departure from traditional multi-family layouts.

The proposal provides neighborhood compatibility with similarly scaled housing as the nearby rental apartments while offering a different tenure model with more long term investment. The proximity of the project to single family homes as well as multi-family structures provides additional opportunities for ingenuity of design, thereby delivering a development product that serves as a transition from multi-family to single-family within the area.

In addition, the proposal will fulfill the goals of the Comprehensive Master Plan for the Loveland Heights area by embracing opportunities for infill development without sacrificing open space or investing in major infrastructure improvements.

As such, the proposal satisfies Section 1151.03(c) of the Special Planning District regulations. The developer is utilizing ingenuity and imagination to produce a residential development which maintains the objectives of the Comprehensive Plan, while creating a distinct, yet compatible, compact high-quality development.

EXHIBIT "B"

Special Planning District (SPD) 20

Highlands of Loveland

Conceptual Plan Pursuant to Section  
1151.04

15416 00621

Convey number: 381954  
Deed number: 25-653879  
Instr. number: 25-656731  
Transfer date: 05/14/2025  
Sec.: 319.202 R.C.  
Sec.: 322.02 R.C.  
Jessica Miranda  
Hamilton County Auditor  
Sales Amount: 450,000.00  
Permissive fee: 900.00  
Transfer fee: 5.50  
Conveyance fee: 450.00

Scott Crowley  
Hamilton County Recorder's Office  
Doc #: 2025-0035310 Type: DE  
Filed: 05/14/25 08:25:02 AM \$42.00  
Off. Rec.: 15416 00621 F 3 104



**GENERAL WARRANTY DEED**

**PARKSIDE DEVELOPMENT GROUP, LLC**, an Ohio limited liability ("Grantor"), for valuable consideration paid, grants, with general warranty covenants, to **J.A. DEVELOPMENT, LLC**, an Ohio limited liability company whose tax-mailing address is 7594 Tylers Place Blvd., Suite A, West Chester, OH 45069 ("Grantee") the following real property ("Property"):

**SEE EXHIBIT "A" ATTACHED HERETO  
AND MADE A PART HEREOF**

There are excepted from the general warranty covenants and the Property is conveyed subject to the lien of non-delinquent taxes.

Prior instrument references:

Off. Rec. 14335, Page 00292 of the Official Records of the Hamilton County, Ohio Recorder;

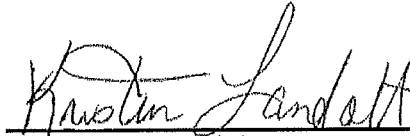
Off. Rec. 14253, Page 00777 of the Official Records of the Hamilton County, Ohio Recorder

Hamilton County, Ohio Parcel Identification Nos. 621-0006-0259 through 621-0006-0267, inclusive, 621-0006-0012 and 621-0006-0013 (11 total parcels)

*[The remainder of this page is intentionally left blank exclusive of footers, if any.]*

Executed on May 1, 2025.

**GRANTOR:**  
**PARKSIDE DEVELOPMENT GROUP, LLC,**  
an Ohio limited liability company



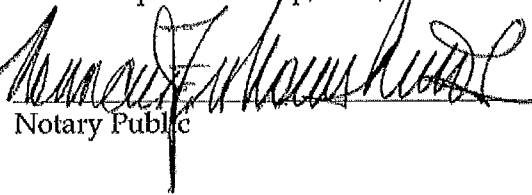
By: Kristin Landolt  
Its: Authorized Representative

STATE OF Ohio :  
COUNTY OF Hamilton : ss:

The foregoing instrument was acknowledged before me on May 2, 2025 by Kristin Landolt, Authorized Representative of Parkside Development Group, LLC, an Ohio limited liability company, on behalf of the company.



Norman John Frankowski, II, Attorney at Law  
NOTARY PUBLIC - STATE OF OHIO  
My commission has no expiration date  
Sec 147.03 O.R.C.

  
Notary Public

This instrument prepared for independent review of Grantor by : Norman J. Frankowski, II, Esq.,  
Flagel & Papakirk LLC, 50 E-Business Way, Suite 410, Cincinnati, Ohio 45241, (513) 984-8111.



Tax Map - May 12 2025 DV

CAGIS - \_\_\_\_\_

EXHIBIT A

PARCELS 1 - 9 (Parcel 10 intentionally omitted):

Situated in Section 18, Town 5, Entire Range 1, Symmes Township, City of Loveland, Hamilton County, Ohio, and being Lots 1 thru 9 ----- depicted in Highland Street Residences, Phase 1 Subdivision, as recorded in Plat Book 497, Page 32 of the Hamilton County, Ohio records.

Parcel Nos.: 621-6-259 st  
621-6-260 st  
621-6-261 st  
621-6-262 st  
st 621-6-263  
621-6-264 st  
st 621-6-265  
621-6-266 st  
st 621-6-267

PARCELS 11 - 12:

Situate in Section 18, Town 5, Range 1, Symmes Township, Hamilton County, Ohio and being Lots 10 and 11 of J. V. Cushing's Subdivision of Loveland, being a resubdivision of Lot 21 of the Cincinnati Savings Society's Addition to Loveland, a plat of which is recorded in Plat Book 13, Page 118, Hamilton County, Ohio Records.

Lot 10 fronts on the north side of Main Street 56.375 feet and runs back northwardly along the west line of Highland Street the same width 252.70 feet.

Lot 11 fronts on the north side of Main Street, 86.375 feet and runs back northwardly the same width 252.70 feet.

Parcel Nos.: 621-0006-0012-00 st  
621-0006-0013-00  
st

Scott Crowley  
Hamilton County Recorder's Office  
Doc #: 2023-0027698 Type: PL  
Filed: 04/25/23 12:09:17 PM \$86.40  
Off.Rec.: 14902 00520 F 1 129

# PLAT



**SEE NEXT PAGE TO VIEW IMAGE**

BOOK 497

PAGE 32

OWNER(S): Parkside Development Group, LLC

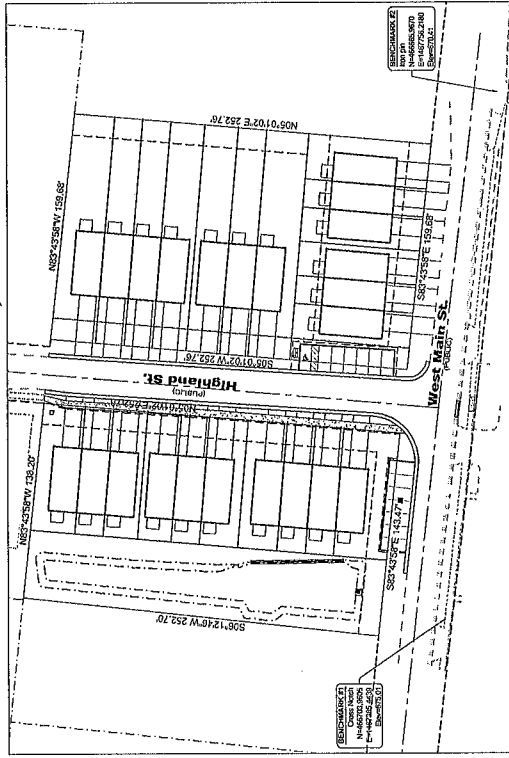
TYPE/NAME: Highland Street Residences Subdivision Phase I

(ATTACHED TO: O.R. N/A PG N/A)



# HIGHLANDS OF LOVELAND

## SECTION 13, TOWN 5, E. RANGE 1 BTM CITY OF LOVELAND HAMILTON COUNTY, OHIO



AREA MAP  
1"=40' FT

### INDEX OF SHEETS

NO.	DESCRIPTION	DATE
1	GENERAL NOTES	10/1/01
2	STORM DRAINAGE	10/1/01
3	WATER MAINS	10/1/01
4	SEWER MAINS	10/1/01
5	UTILITY LOCATIONS	10/1/01
6	CONCRETE DETAILS	10/1/01
7	STEEL DETAILS	10/1/01
8	FOUNDATION DETAILS	10/1/01
9	STRUCTURAL DETAILS	10/1/01
10	MECHANICAL DETAILS	10/1/01
11	ELECTRICAL DETAILS	10/1/01
12	PAVING DETAILS	10/1/01
13	LANDSCAPE DETAILS	10/1/01
14	ENVIRONMENTAL DETAILS	10/1/01
15	CONSTRUCTION DETAILS	10/1/01
16	FINISHES	10/1/01
17	MECHANICAL EQUIPMENT	10/1/01
18	ELECTRICAL EQUIPMENT	10/1/01
19	PAVING EQUIPMENT	10/1/01
20	LANDSCAPE EQUIPMENT	10/1/01
21	ENVIRONMENTAL EQUIPMENT	10/1/01
22	CONSTRUCTION EQUIPMENT	10/1/01
23	FINISHES	10/1/01
24	MECHANICAL EQUIPMENT	10/1/01
25	ELECTRICAL EQUIPMENT	10/1/01
26	PAVING EQUIPMENT	10/1/01
27	LANDSCAPE EQUIPMENT	10/1/01
28	ENVIRONMENTAL EQUIPMENT	10/1/01
29	CONSTRUCTION EQUIPMENT	10/1/01
30	FINISHES	10/1/01

### WATER NOTES

1. ALL WATER MAINS, PIPES, FITTINGS AND RELATED ITEMS SHALL CONFORM WITH CURRENT SPECIFICATIONS OF THE CITY OF LOVELAND AND THE OHIO DEPARTMENT OF PUBLIC SAFETY. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOVELAND WATER MAIN SPECIFICATIONS AND APPROVED SPECIALS AND MANUFACTURERS' INSTRUCTIONS. ALL WATER MAINS SHALL HAVE MINIMUM COVER OF 48 INCHES AND SHALL BE PROTECTED BY A MINIMUM OF 18 INCHES OF COVER.
2. CITY OF LOVELAND SHALL ESTABLISH PROCEDURES FOR REMOVAL OF WATER MAINS OR WATER SERVICES DAMAGED.

### MAINTENANCE SCHEDULE AND RESPONSIBILITY

1. THE DEVELOPER SHALL MAINTAIN THE DETENTION BASIN FOR THE FIRST TWO YEARS AFTER COMPLETION OF THE PROJECT. AFTER TWO YEARS, THE DETENTION BASIN SHALL BE MAINTAINED BY THE CITY OF LOVELAND.
2. THE CITY OF LOVELAND SHALL MAINTAIN THE DETENTION BASIN FOR THE REMAINDER OF THE PROJECT'S LIFE.
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### GENERAL NOTES

1. BEGIN BY INSTALLING TEMPORARY DRAINAGE CONSTRUCTION DRAINAGE ON PLOTS TO PROVIDE STABLE ENTRANCE OR EXIT ROAD AND LOCAL DRAINAGE FOR THE PROJECT. IT SHALL BE IN ACCORDANCE WITH THE CITY OF LOVELAND AND OHIO DEPARTMENT OF PUBLIC SAFETY. THE CITY OF LOVELAND SHALL MAINTAIN THE TEMPORARY DRAINAGE UNTIL THE PERMANENT DRAINAGE IS INSTALLED.
2. ALL PLOTS AND CONSTRUCTION WITHIN THE CITY OF LOVELAND SHALL COMPLY WITH THE CITY OF LOVELAND AND OHIO DEPARTMENT OF PUBLIC SAFETY. THE CITY OF LOVELAND SHALL MAINTAIN THE TEMPORARY DRAINAGE UNTIL THE PERMANENT DRAINAGE IS INSTALLED.
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30. THE CITY OF LOVELAND SHALL MAINTAIN THE TEMPORARY DRAINAGE UNTIL THE PERMANENT DRAINAGE IS INSTALLED.

### STORM DRAINAGE NOTES

1. ALL STORM DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LOVELAND AND OHIO DEPARTMENT OF PUBLIC SAFETY. THE CITY OF LOVELAND SHALL MAINTAIN THE STORM DRAINAGE UNTIL THE PERMANENT DRAINAGE IS INSTALLED.
2. THE CITY OF LOVELAND SHALL MAINTAIN THE STORM DRAINAGE UNTIL THE PERMANENT DRAINAGE IS INSTALLED.
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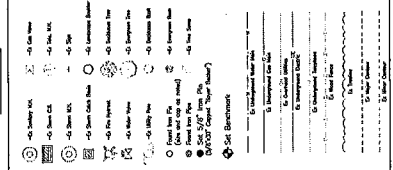
Know what's below.  
Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE  
DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

C1.0

boyer  
4400 N. 17th Street, Suite A  
Cincinnati, OH 45204  
Phone: (513) 263-6000  
Fax: (513) 263-6001  
Email: info@boyer.com  
Website: www.boyer.com

HIGHLANDS OF LOVELAND  
SECTION 13, TOWN 5, E. RANGE 1 BTM  
CITY OF LOVELAND, OHIO  
HAMILTON COUNTY, OHIO  
TITLE SHEET



### OWNER/DEVELOPER

J.A. Development  
7504 A. Tyson Road, Cincinnati  
OH 45244  
J.A. Development  
7504 A. Tyson Road, Cincinnati  
OH 45244

### ENGINEER, SURVEYOR & LANDSCAPE ARCHITECT

5800 Vineyard Road, Suite A  
Cincinnati, OH 45244  
5800 Vineyard Road, Suite A  
Cincinnati, OH 45244

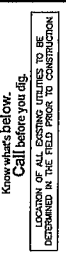
### UTILITY COMPANIES

Sanitary Sewer  
Metropolitan Sewer District  
City of Loveland Water  
City of Loveland Gas  
Electric  
Duke Energy  
Cable TV  
Cincinnati Bell Telephone  
Cincinnati Bell Telephone  
Cincinnati Bell Telephone

NO.	DESCRIPTION	DATE
1	GENERAL NOTES	10/1/01
2	STORM DRAINAGE	10/1/01
3	WATER MAINS	10/1/01
4	SEWER MAINS	10/1/01
5	UTILITY LOCATIONS	10/1/01
6	CONCRETE DETAILS	10/1/01
7	STEEL DETAILS	10/1/01
8	FOUNDATION DETAILS	10/1/01
9	STRUCTURAL DETAILS	10/1/01
10	MECHANICAL DETAILS	10/1/01
11	ELECTRICAL DETAILS	10/1/01
12	PAVING DETAILS	10/1/01
13	LANDSCAPE DETAILS	10/1/01
14	ENVIRONMENTAL DETAILS	10/1/01
15	CONSTRUCTION DETAILS	10/1/01
16	FINISHES	10/1/01
17	MECHANICAL EQUIPMENT	10/1/01
18	ELECTRICAL EQUIPMENT	10/1/01
19	PAVING EQUIPMENT	10/1/01
20	LANDSCAPE EQUIPMENT	10/1/01
21	ENVIRONMENTAL EQUIPMENT	10/1/01
22	CONSTRUCTION EQUIPMENT	10/1/01
23	FINISHES	10/1/01
24	MECHANICAL EQUIPMENT	10/1/01
25	ELECTRICAL EQUIPMENT	10/1/01
26	PAVING EQUIPMENT	10/1/01
27	LANDSCAPE EQUIPMENT	10/1/01
28	ENVIRONMENTAL EQUIPMENT	10/1/01
29	CONSTRUCTION EQUIPMENT	10/1/01
30	FINISHES	10/1/01



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SL.2180  
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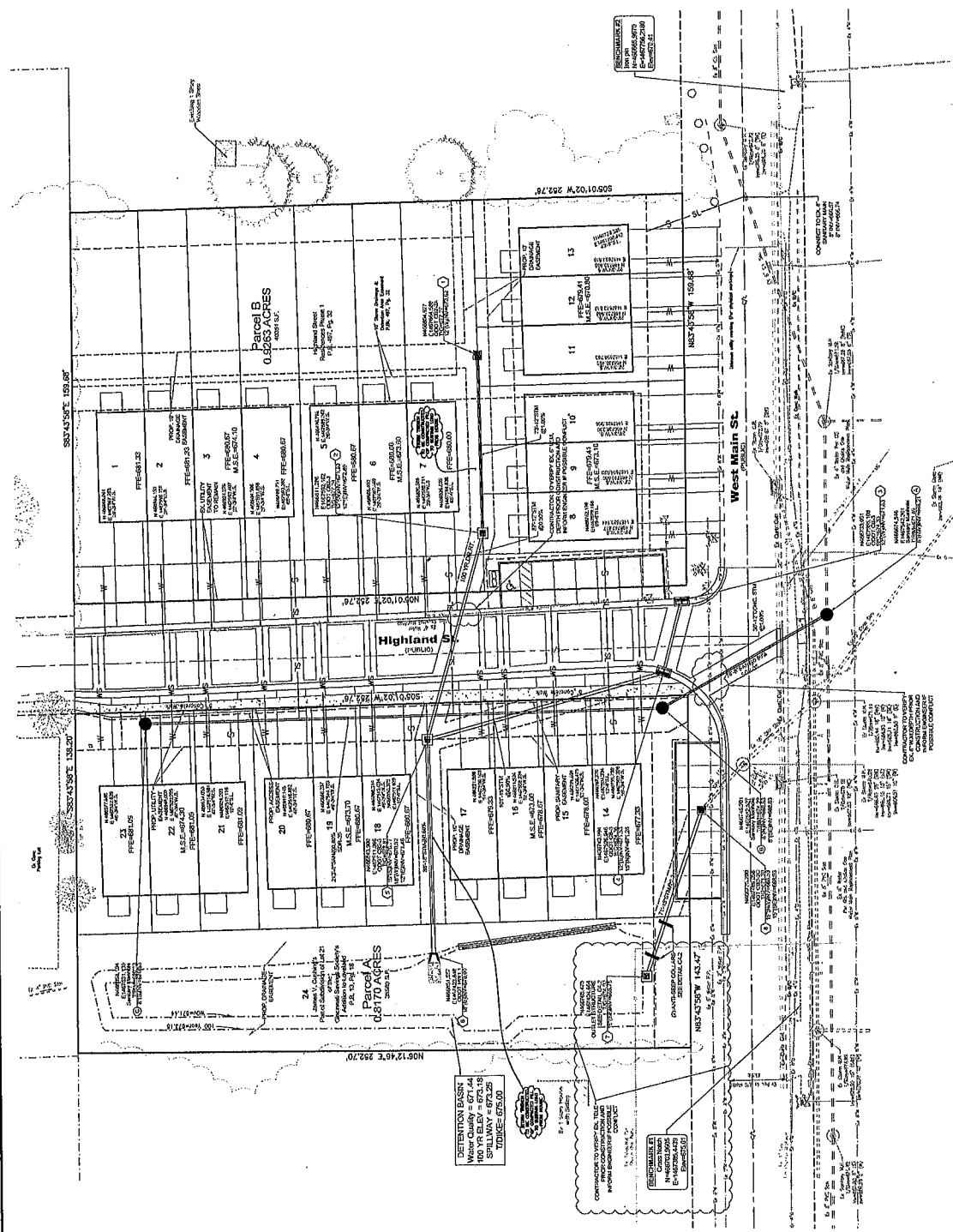


LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

1. 48 hours notice to be given to affected residents before construction begins.
2. All manholes are 42" diameter unless otherwise noted.
3. All Catch Basin BVC Elevations located within the curb are set to the BVC Elevations.
4. All Catch Basin BVC Elevations located within the curb are set to the BVC Elevations.
5. Lower "1" Water Services as needed to avoid conflicts with Storm water Mit. & Cover.
6. Location of existing utilities to be determined in the field prior to construction.
7. Contractors to accept all quantities of existing water main under Highland and West Main streets for relocation and reconstruction.
8. All Sumps and Iron Downspouts shall be placed to the near drainage ditch.
9. Some prior to construction and notify engineer of any deviations from information shown on plan sheets.
10. Telecommunication and Data conduit shall be placed 1' apart from each other.

## MSD SEWER NOTES

1. LEGEND:
2. S = SANITARY LATERAL, S1 = SANITARY WATERSHED
3. S1 - SANITARY WATERSHED SHALL BE F.P.C. SDORS @ 2.0% MINIMUM  
IF LOWEST LEVEL ELEVATION IS BELOW F.M. ELEVATION OF  
UPSTREAM MANHOLE, THEN TAP MUST INCLUDE BACKFLOW  
PREVENTION OR BE PUMPED TO GRAVITY.
4. ANY EXISTING MANHOLES CANNOT BE ADJUSTED TO GRADE  
AND MUST BE ADJUSTED TO GRADE WITH MSD STANDARD  
DRAINAGE PERFOR. OR 40255-4.  
DRAINAGE PERFOR. OR 40255-4.

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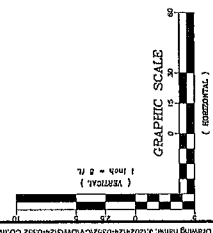
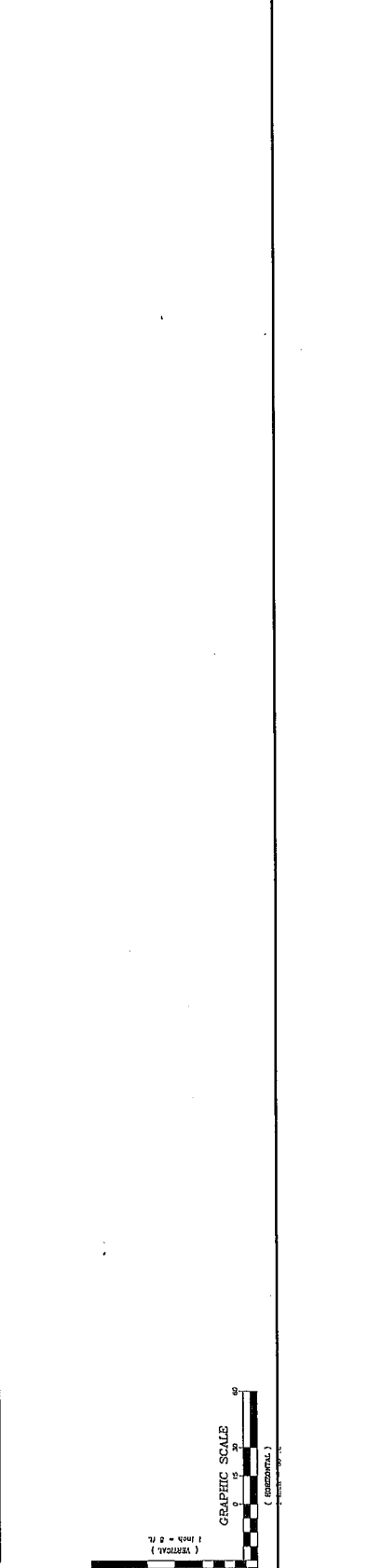
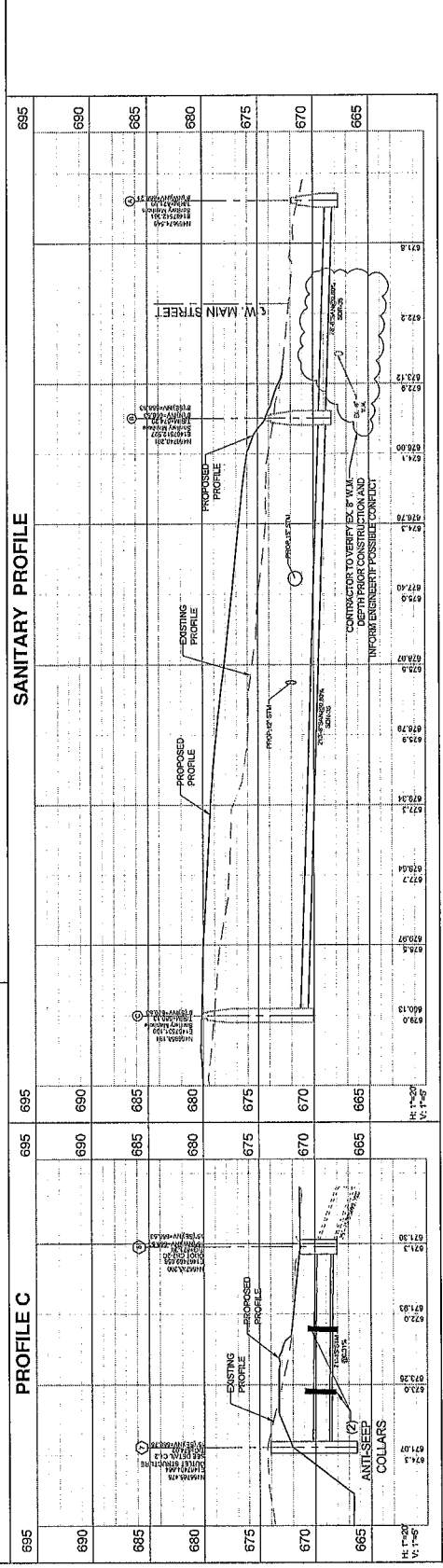
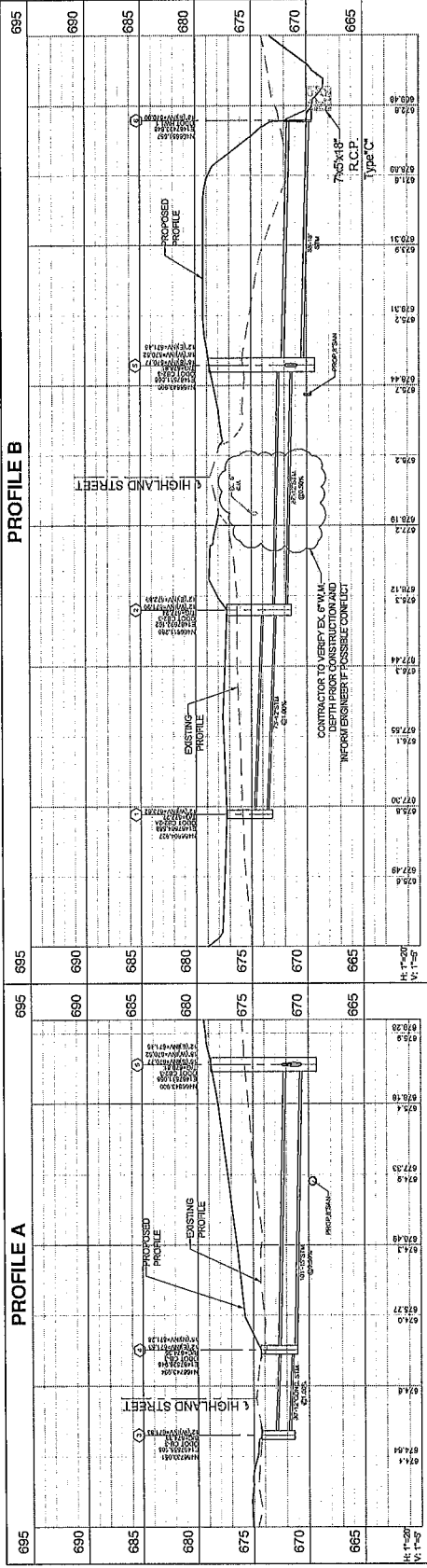




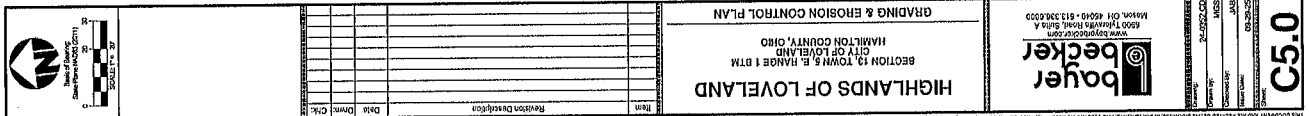
SECTION 15.0300 - UTILITIES  
PART 15.0300 - UTILITIES  
HIGHLANDS OF LOVELAND  
CITY OF LOVELAND  
HAMILTON COUNTY, OHIO  
PROJECT NO. 2020-001  
DATE: 01/15/2020  
BY: JMB  
CHECKED BY: JMB  
DESIGNED BY: JMB

C4.1

HIGHLANDS OF LOVELAND  
UTILITY PROFILES





[illegible]

Notes: All ditches constructed by the Contractor shall be subject to inspection.

PROPOSED FINISHED FLOOR ELEV. DENOTES FINISHED FLOOR ELEV. DENOTES SUBGRADE ELEV. DENOTES MINIMUM OPENING ELEV.

SOIL TYPES

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**EROSION CONTROL FOR INDIVIDUAL LOTS & SMALL SITES**

WARNING: Erosion control measures must be installed within 7 days of construction start.

- In areas 2000 sq. ft. or less
- In areas between 1000 & 2000 sq. ft.
- In areas between 500 & 1000 sq. ft.
- In areas less than 500 sq. ft.

Typical Erosion Control Measures

Measure	Area	Material	Installation
Grass Seed	1000-2000 sq. ft.	Grass Seed	1000-2000 sq. ft.
Grass Seed	500-1000 sq. ft.	Grass Seed	500-1000 sq. ft.
Grass Seed	100-500 sq. ft.	Grass Seed	100-500 sq. ft.
Grass Seed	Less than 100 sq. ft.	Grass Seed	Less than 100 sq. ft.

Grass Seed Installation Details

Grass Seed Rate: 100 lbs./acre (1 lb./1000 sq. ft.)

Mulch: 2" deep

**CONCRETE WASTE MANAGEMENT**

Concrete Disposal: 1000-2000 sq. ft.

Erosion Control: 1000-2000 sq. ft.

**CONSTRUCTION EROSION CONTROL**

Sediment Traps: 1000-2000 sq. ft.

Erosion Control: 1000-2000 sq. ft.

**DIKES AND SLOPE PROTECTION**

Dike Construction: 1000-2000 sq. ft.

Slope Protection: 1000-2000 sq. ft.

**SEDIMENT TRAPS & DAMS**

Sediment Traps: 1000-2000 sq. ft.

Dams: 1000-2000 sq. ft.

**TEMPORARY EROSION CONTROL**

Temporary Erosion Control: 1000-2000 sq. ft.

Erosion Control: 1000-2000 sq. ft.

**GRAVEL ROLLER GRAVEL CURB INLET FILTER**

Gravel Roller: 1000-2000 sq. ft.

Inlet Filter: 1000-2000 sq. ft.

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Gravel Roller: 1000-2000 sq. ft.

Inlet Filter: 1000-2000 sq. ft.

**GENERAL NOTES**

1. All erosion control measures shall be installed in accordance with the specifications and standards of the Hamilton County, Ohio Department of Public Works.

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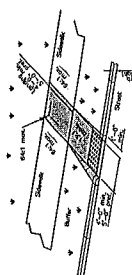
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10. All erosion control measures shall be installed in accordance with the specifications and standards of the Hamilton County, Ohio Department of Public Works.



Type A2 (Perpendicular with Returned Curb)

### NOTES

The running slope of the ramp is preferred to be 1:1 maximum or flatter. In existing situations, the running slope may be steeper than 1:1, but the transition to the sidewalk constraints (e.g. utility poles or vaults, right-of-way limits) it may be reduced on the approach.

1) 1:1 for a max. rise of 1" for 1'.

2) 1:1 for a max. rise of 1" for 1'.

3) 1:1 for a max. rise of 1" for 1'.

4) 1:1 for a max. rise of 1" for 1'.

5) 1:1 for a max. rise of 1" for 1'.

6) 1:1 for a max. rise of 1" for 1'.

7) 1:1 for a max. rise of 1" for 1'.

8) 1:1 for a max. rise of 1" for 1'.

9) 1:1 for a max. rise of 1" for 1'.

10) 1:1 for a max. rise of 1" for 1'.

To prevent the ramp from being inadvertently the transition from existing sidewalk to the sloped curb ramp area is not required to exceed 15 feet in length.

The counter slope of the gutter or street at the foot of a curb ramp, landing, or similar transition shall be 4:1 or flatter.

The bottom edge of the ramp and change planes perpendicular to the landing, or similar transition shall be 4:1 or flatter.

Ramp landings shall be 4' min. x 4' min. with a 50:1 or flatter cross slope and running slope.

DETECTABLE WARNING: Install Detectable Warnings on each curb ramp with a 4' min. x 4' min. landing area. The landing area shall be 4' min. x 4' min. with a 50:1 or flatter cross slope and running slope.

USPAP: The manufacturer is to ensure the base of each constructed curb ramp is placed on a firm, stable, and undisturbed subgrade. The manufacturer shall provide proper drainage without creating a water ponding area on or adjacent to the curb ramp. The manufacturer shall provide a 4' min. x 4' min. landing area at the base of the curb ramp. The manufacturer shall provide a 4' min. x 4' min. landing area at the base of the curb ramp. The manufacturer shall provide a 4' min. x 4' min. landing area at the base of the curb ramp.

**SURFACE TEXTURE:** Feature concrete surfaces by coarse brooming transverse to the ramp slopes to be rougher than the adjacent walk.

**JUNCTIONS:** Joints in the ramp shall be located at least 10 feet from the curb ramp. Joints in the ramp shall be located at least 10 feet from the curb ramp. Joints in the ramp shall be located at least 10 feet from the curb ramp.

### DETECTABLE WARNING NOTES

Truncated domes shall be installed on the detectable surface portion of people with vision impairments of their approach to streets and hazardous conditions.

Truncated domes shall be installed on the detectable surface portion of people with vision impairments of their approach to streets and hazardous conditions.

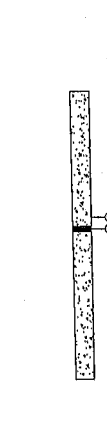
Truncated domes shall be installed on the detectable surface portion of people with vision impairments of their approach to streets and hazardous conditions.

Truncated domes shall be installed on the detectable surface portion of people with vision impairments of their approach to streets and hazardous conditions.

Truncated domes shall be installed on the detectable surface portion of people with vision impairments of their approach to streets and hazardous conditions.

**PRODUCTS & COLORS:** Color of the detectable warnings should contrast with surrounding pavement. Color of the detectable warnings should contrast with surrounding pavement. Color of the detectable warnings should contrast with surrounding pavement.

### CURB RAMP DETAILS



TYPICAL SIDEWALK SECTION

SEE DETAIL C6.0 FOR CURB RAMP DETAILS

1) 1:1 for a max. rise of 1" for 1'

2) 1:1 for a max. rise of 1" for 1'

3) 1:1 for a max. rise of 1" for 1'

### DOMES ALIGNMENT ON RADUSED CURB



DOMES ALIGNMENT ON RADUSED CURB

Truncated Domes

Ramp Slope

Curb

Truncated Domes

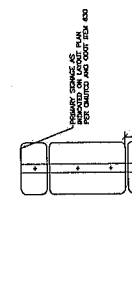
Ramp Slope

Curb

Truncated Domes

Ramp Slope

Curb



TYPICAL SIGNPOST

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Sign

Signpost

Sign

Signpost

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Signpost

Sign

Signpost

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Signpost

Sign

Signpost

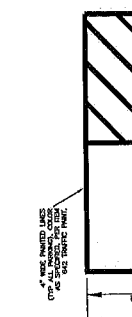
Sign

Signpost

Sign

Signpost

Sign



TYPICAL PARKING STRIP

Parking Strip

Parking Space

Parking Strip

Parking Space

Parking Strip

Parking Space

Parking Strip

Parking Space

Parking Strip

Parking Space

Parking Strip

Parking Space

Parking Strip

Parking Space

Parking Strip

Parking Space

Parking Strip

Parking Space

DATE	DESCRIPTION	BY	CHECKED
01/15/2010	Initial Design	J. Smith	M. Jones
02/10/2010	Revised Design	J. Smith	M. Jones
03/05/2010	Final Design	J. Smith	M. Jones

REVISIONS

DATE

DESCRIPTION

BY

CHECKED

DATE

DESCRIPTION

BY

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DATE

DESCRIPTION

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DESCRIPTION

BY

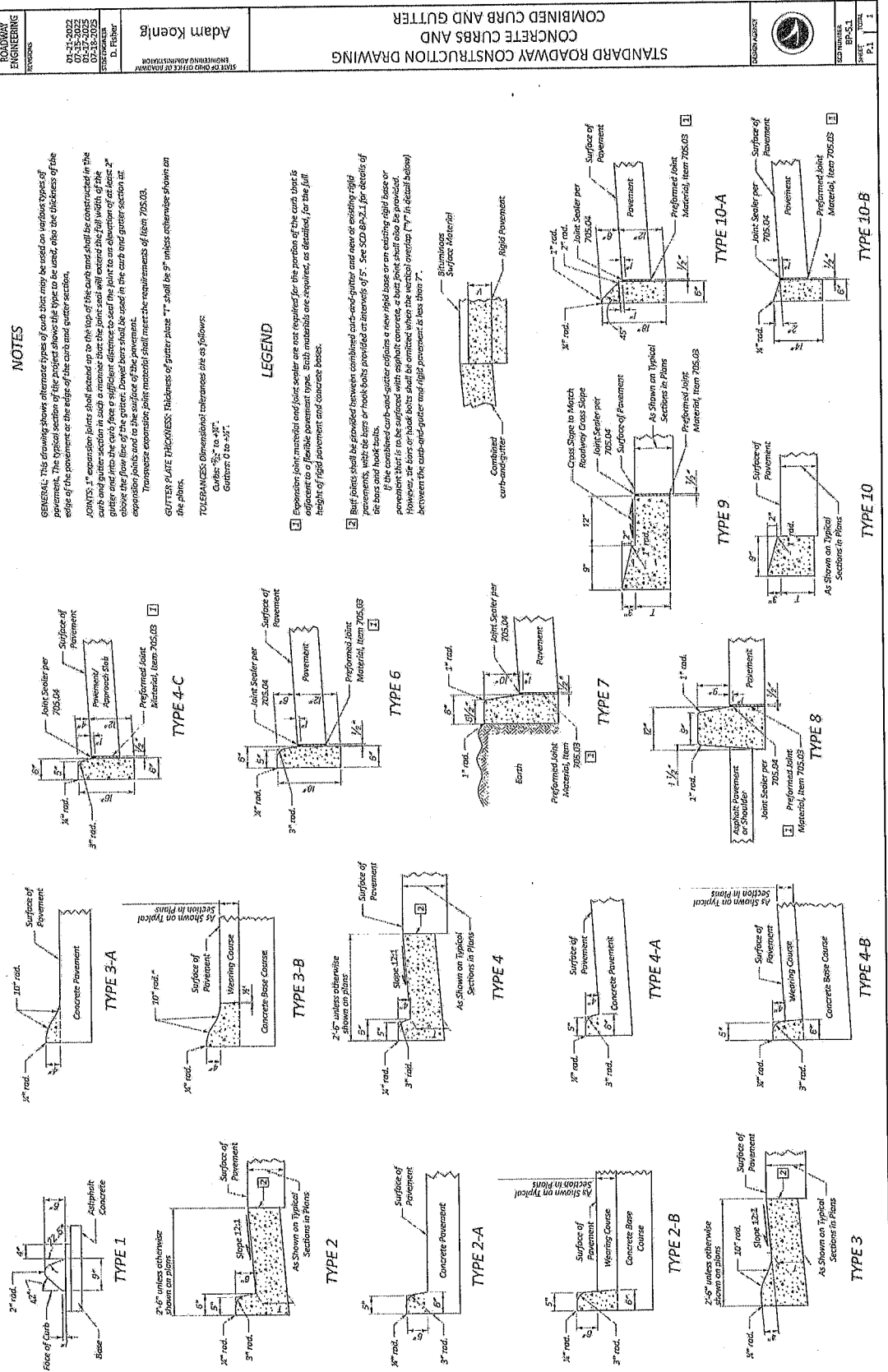
HIGHLANDS OF LOVELAND  
SECTION 19 TOWN & RANGE 1 B1M  
HAMILTON COUNTY, OHIO

SITE DETAILS

bayler  
www.bayler.com  
800.776.6323  
MAISON, OH 45040-2133

Project No.: 21-0000-001  
Drawing No.: 21-0000-001-001  
Sheet No.: 21-0000-001-001-001

C6.0



STATE OF OHIO OFFICE OF BUREAU OF ENGINEERING ADMINISTRATION	Adam Koenig	D. Fisher	STUDY ENGINEER	01-21-2022 07-15-2022 01-17-2025 07-18-2025	TELEPHONE	ROADWAY ENGINEERING
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DESIGN AGENCY

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SHEET	TOTAL
P.1	1

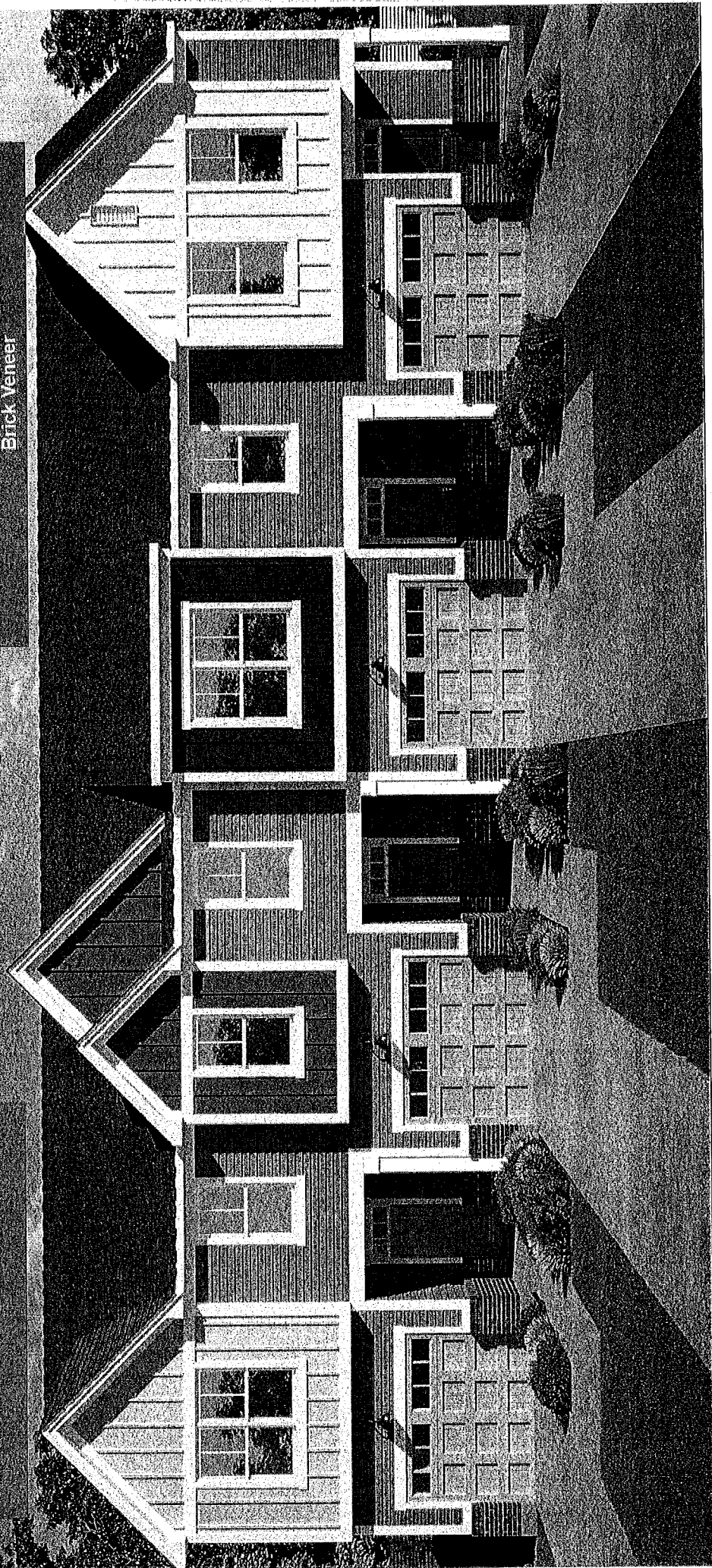
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1



48% Maximum Lot Coverage  
1,480 Minimum Living Area (SQ.FT.)  
Slab Foundations  
9FT First Floors  
8FT Second Floors

Vinyl Siding - Board & Batten  
Vinyl Siding - Horizontal Lap  
Asphalt Shingles  
Vinyl Windows  
Fiberglass Painted Front Doors  
Steel Garage Doors  
Painted Composite Exterior Trim and Columns  
Brick Veneer



15416 00621

Convey number: 381954  
Deed number: 25-653879  
Instr. number: 25-656731  
Transfer date: 05/14/2025  
Sec.: 319.202, R.C.  
Sec.: 322.02 R.C.  
Jessica Miranda  
Hamilton County Auditor  
Sales Amount: 450,000.00  
Permissive fee: 900.00  
Transfer fee: 5.50  
Conveyance fee: 450.00

Scott Crowley  
Hamilton County Recorder's Office  
Doc #: 2025-0035310 Type: DE  
Filed: 05/14/25 08:25:02 AM \$42.00  
Off. Rec.: 15416 00621 F 3 104



**GENERAL WARRANTY DEED**

**PARKSIDE DEVELOPMENT GROUP, LLC**, an Ohio limited liability ("Grantor"), for valuable consideration paid, grants, with general warranty covenants, to **J.A. DEVELOPMENT, LLC**, an Ohio limited liability company whose tax-mailing address is 7594 Tylers Place Blvd., Suite A, West Chester, OH 45069 ("Grantee") the following real property ("Property"):

**SEE EXHIBIT "A" ATTACHED HERETO  
AND MADE A PART HEREOF**

There are excepted from the general warranty covenants and the Property is conveyed subject to the lien of non-delinquent taxes.

**Prior instrument references:**

Off. Rec. 14335, Page 00292 of the Official Records of the Hamilton County, Ohio Recorder;


Off. Rec. 14253, Page 00777 of the Official Records of the Hamilton County, Ohio Recorder

Hamilton County, Ohio Parcel Identification Nos. 621-0006-0259 through 621-0006-0267, inclusive, 621-0006-0012 and 621-0006-0013 (11 total parcels)

*[The remainder of this page is intentionally left blank exclusive of footers, if any.]*

Executed on May <sup>14</sup>1, 2025.

GRANTOR:  
PARKSIDE DEVELOPMENT GROUP, LLC,  
an Ohio limited liability company

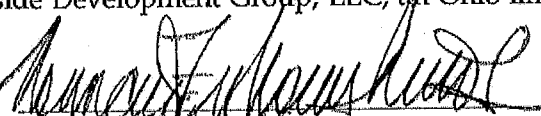
  
By: Kristin Landolt  
Its: Authorized Representative

STATE OF Ohio :  
COUNTY OF Hamilton : ss:

The foregoing instrument was acknowledged before me on May 2, 2025 by <sup>(NSP) Kristin</sup> Kristin Landolt, Authorized Representative of Parkside Development Group, LLC, an Ohio limited liability company, on behalf of the company.



Norman John Frankowski, II, Attorney At Law  
NOTARY PUBLIC - STATE OF OHIO  
My commission has no expiration date  
Sec 147.03 O.R.C.

  
Notary Public

This instrument prepared for independent review of Grantor by : Norman J. Frankowski, II, Esq.,  
Flagel & Papakirk LLC, 50 E-Business Way, Suite 410, Cincinnati, Ohio 45241, (513) 984-8111.

Tax Map - May 12 2025 DV

CAGIS - \_\_\_\_\_

EXHIBIT A

PARCELS 1 - 9 (Parcel 10 intentionally omitted):

Situated in Section 18, Town 5, Entire Range 1, Symmes Township, City of Loveland, Hamilton County, Ohio, and being Lots 1 thru 9 ----- depicted in Highland Street Residences, Phase 1 Subdivision, as recorded in Plat Book 497, Page 32 of the Hamilton County, Ohio records.

Parcel Nos.: 621-6-259 st  
621-6-260 st  
621-6-261 st  
621-6-262 st  
st 621-6-263  
621-6-264 st  
st 621-6-265  
621-6-266 st  
st 621-6-267

PARCELS 11 - 12:

Situate in Section 18, Town 5, Range 1, Symmes Township, Hamilton County, Ohio and being Lots 10 and 11 of J. V. Cushing's Subdivision of Loveland, being a resubdivision of Lot 21 of the Cincinnati Savings Society's Addition to Loveland, a plat of which is recorded in Plat Book 13, Page 118, Hamilton County, Ohio Records.

Lot 10 fronts on the north side of Main Street 56.375 feet and runs back northwardly along the west line of Highland Street the same width 252.70 feet.

Lot 11 fronts on the north side of Main Street, 86.375 feet and runs back northwardly the same width 252.70 feet.

Parcel Nos.: 621-0006-0012-00 st  
621-0006-0013-00  
st

Scott Crowley  
Hamilton County Recorder's Office  
Doc #: 2023-0027698 Type: PL  
Filed: 04/25/23 12:09:17 PM \$86.40  
Off.Rec.: 14902 00520 F 1 129

# PLAT



**SEE NEXT PAGE TO VIEW IMAGE**

BOOK 497

PAGE 32

OWNER(S): Parkside Development Group, LLC

TYPE/NAME: Highland Street Residences Subdivision Phase I

(ATTACHED TO: O.R. N/A PG N/A)



# HIGHLANDS OF LOVELAND

SECTION 13, TOWN 5, E. RANGE 1 BTM  
CITY OF LOVELAND  
HAMILTON COUNTY, OHIO

## GENERAL NOTES

- [illegible]

- EMERGENCY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DECONTAMINATION. CONTAMINATION IS REQUIRED TO BE REMOVED INSTRUCTIONS ARE FURNISHED BY THE ORO/LEA FOR THE NATIONAL POLLUTANT DISCHARGE ELIMINATION ACT (NPDES) AND UNDER THE CLEAN WATER ACT (CWA). THE ORO/LEA SHALL BE ADVISED BY WRITTEN REPORTS. COPIES OF REPORTS MUST BE KEPT SITE AT ALL TIMES. THE CONTRACTOR SHALL FURNISH THE ORO/LEA WITH WRITTEN REPORTS. COPIES OF REPORTS MUST BE KEPT SITE AT ALL TIMES.
10. THE CONTRACTOR SHALL CLEAN UP ALL DEBRIS AND MATERIALS RESULTING FROM THE OPERATION AND RESTORE ALL SURFACES, STRUCTURES, UTILITIES, AND PROPERTY TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE EMPLOYER.
11. ALL WORKER WORKING ON THE PLANT SHALL BE MONITORED FOR EXPOSURE UNLESS OTHERWISE INDICATED.

- [illegible]

- [illegible]

- [illegible]

23. THIS DEVELOPMENT WILL BE SERVED BY PUBLIC STREET.

**STORM DRAINAGE NOTES**

- [illegible]

11. ALL PROPOSED PUBLIC UTILITIES, SERVICES AND SERVICES OF OTHER AGENCIES MUST BE PRIVATE AND MAINTAINED BY THE PROPERTY OWNER FOR THE LIFE OF THE PROJECT.
12. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LIFTED BECAUSE OF A CONSTRUCTION AND ARE TO BE RECONSTRUCTED ARE TO BE REPAIRED TO AS GOOD AS NEW CONDITION AND ARE TO BE MAINTAINED AS SUCH AS PRACTICAL. A GUARANTEE WITH STATE OF GOOD RECONSTRUCTION ITEM IS REQUIRED.
13. CULVERT OR GROUND CONDUITS DISPOSED OF ON THE PLANT REFER TO HAMILTON COUNTY DEPARTMENT OF PLANNING AND ZONING.
14. EXISTING UTILITIES ARE TO BE MAINTAINED AND THE UTILITIES ARE TO BE KEPT WHERE THE RECORDS SHOWS OF THE STATE DEPARTMENT OF CONSTRUCTION, COUNTY, AND CITY.

## FOR DETENTION BASIN

- [illegible]

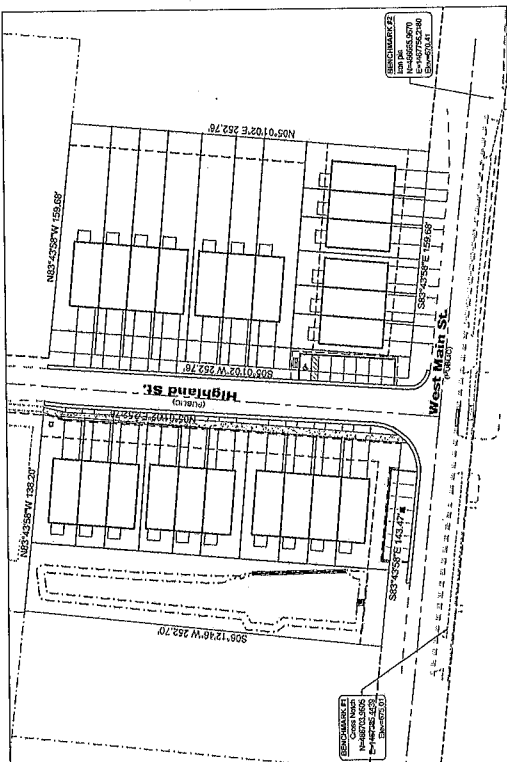
## INDEX OF SHEETS

DIVERSITY		ISSUE DATE	ISSUE NO.	REVISION NO.
CS-0	ISSUING COMPANY'S DIMENSION	05-22-25	2	11-04-25
CS-9	EXISTING CONDITIONS	05-22-25		
CS-9	UTILITY PLAN	05-22-25		
CS-9	UTILITY PROFILES	05-22-25		
CS-9	EXISTING PROFILES	05-22-25		
CS-9	EXISTING PILES	05-22-25		
CS-1	ISSUING COMPANY'S NOTES	05-22-25		
CS-1	EXISTING COMPANY'S NOTES	05-22-25		
CS-0	FIELD DETAILS	05-22-25		

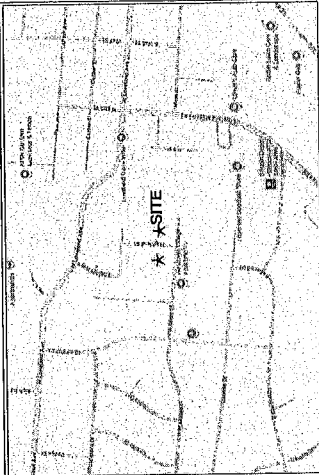
## WATER NOTES

- ALL WATER MAINS, FIRE MAINS AND RELATED PIPES SHALL CONFORM WITH CURRENT SPECIFICATIONS OF THE CITY OF LONG BEACH WATER DEPARTMENT AND THE OHIO ENVIRONMENTAL PROTECTION AGENCY AND SHALL MEET OUST FIB 622 LON/LAND WATER DEPARTMENT AND APPROVED SUPPLIER AND MANUFACTURERS LIST. ALL WATER MAINS SHALL HAVE MINIMUM COVER OF 48 INCHES AND SHALL BE DUCTILE IRON PIPE, PRESSURE CLASS 250.

## AREA MAP



### VICINITY MAP



**BENCHMARK #1**

POSS NOTCH ALONG THE SOUTH  
SIDE OF WEST MAIN STREET  
60' EAST FROM AN EXISTING UTILITY POLE AND  
FROM THE EXISTING BACK OF CURB  
ELEVATION=570.41  
NORTHING=465703.9625  
EASTING=4657285.4280

## OWNER/DEVELOPER

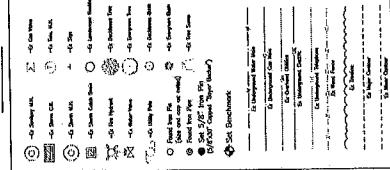
Development  
194 A Tyfens Place Boulevard  
West Chester, OH 45069  
info@colorborders.com

**ENGINEER, SURVEYOR &  
LANDSCAPE ARCHITECT**

## UTILITY COMPANIES

Metropolitan  
City of Louisville  
Duke Energy  
Duke Energy  
Cincinnati B

**LEGEND**

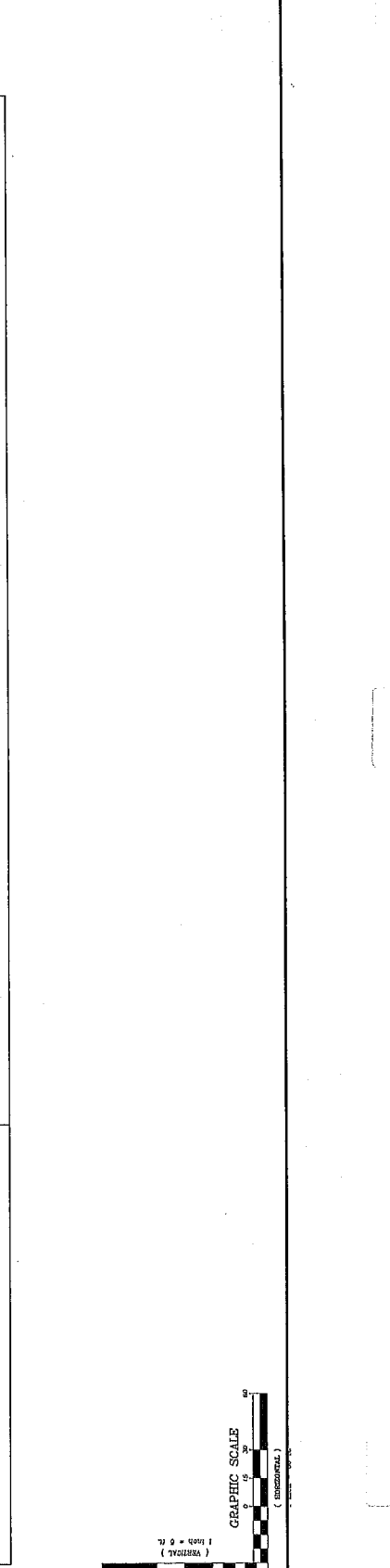
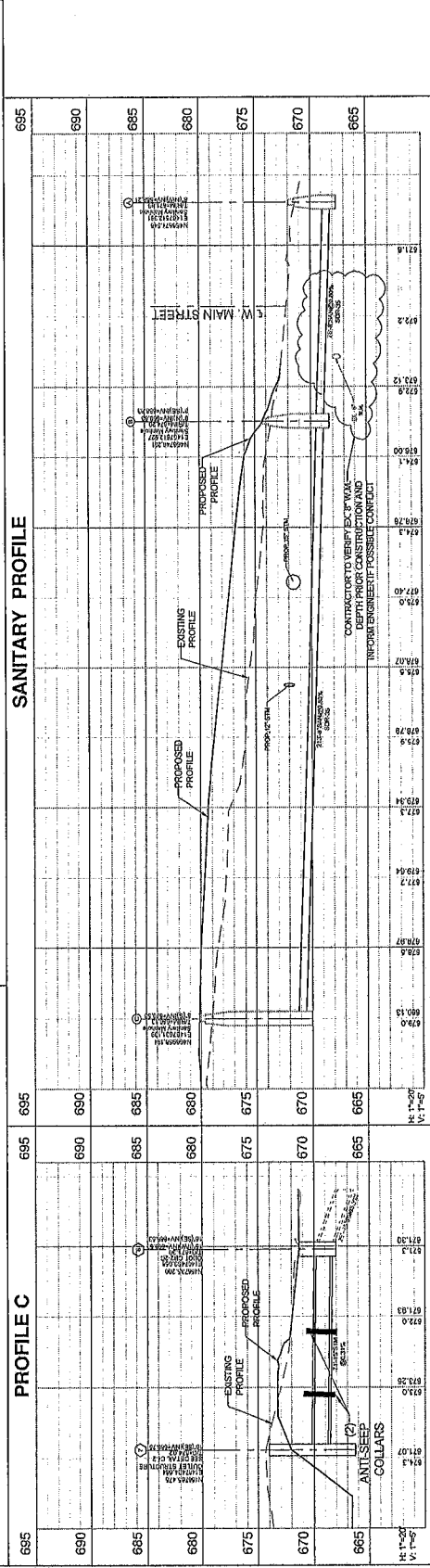
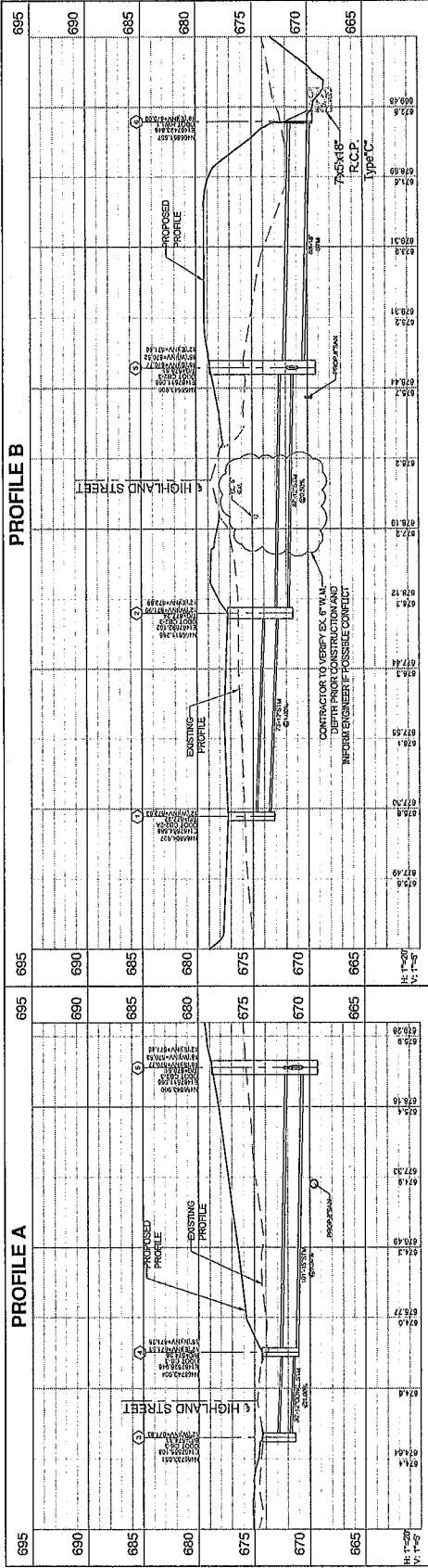


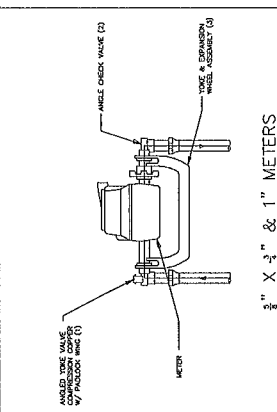
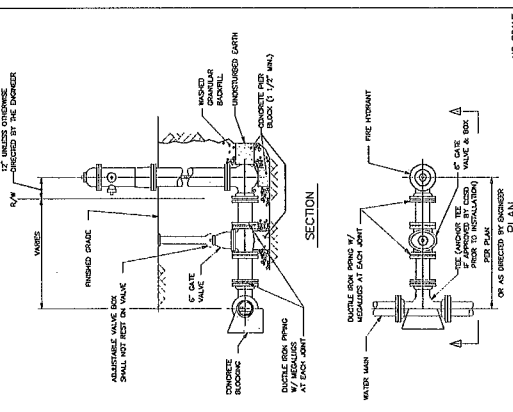
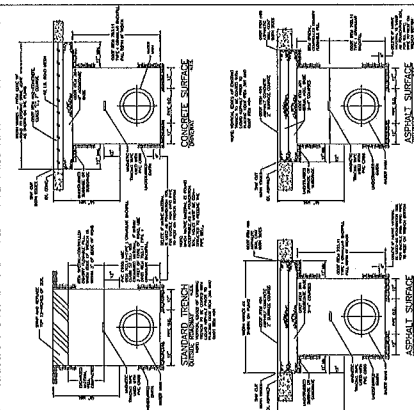
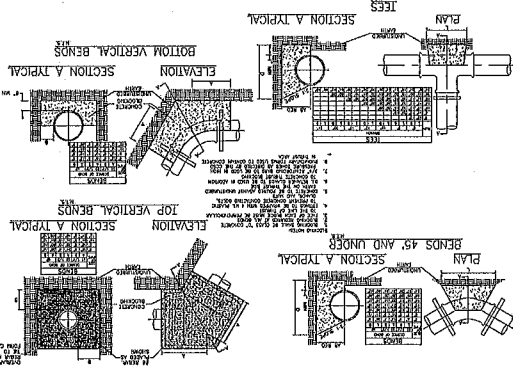
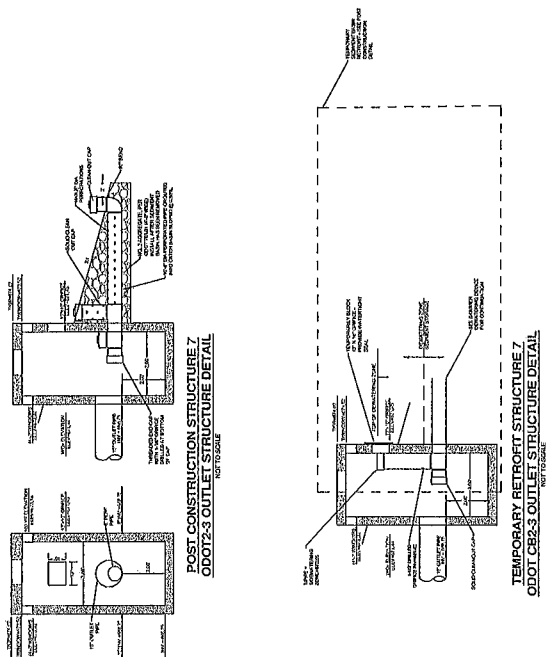
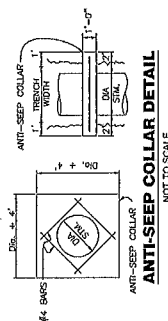
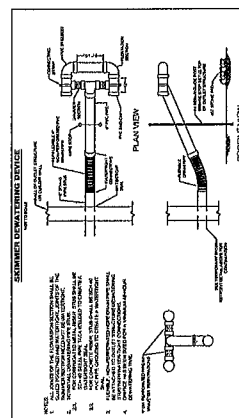
Know what's below.  
Call 1-800-451-4511

**LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION**












METER SIZE	1	2	3
5/8" x 3/4"	FORD A934-323-1W OR EQUAL	FORD 11434-323-2 OR EQUAL	YOKE - FORD 1902, WHEEL-60-23 OR EQUAL
1"	FORD A934-444-1W OR EQUAL	134-14-C OR EQUAL	YOKE-FORD 1904, WHEEL-104 OR EQUAL

	CLERMONT COUNTY SEWER DISTRICT	5'8" X 3/4" & 1" DOMESTIC METERS ASSEMBLY	Drawn: <b>W3.2</b> Date: _____	NO SCALE
	APPROVED _____			

	CLERMONT COUNTY SEWER DISTRICT	FIRE HYDRANT LAYOUT & ASSEMBLY W2.1 CHASEMAN INC.	NO SCALE
	APPROVED _____ DATE _____		

	CLERMONT COUNTY SEWER DISTRICT	CONCRETE BLOCKING FOR PIPE FITTINGS	DRAWING NO. W1.3
	APPROVED _____ DATE _____		

	CLERMONT COUNTY SEWER DISTRICT	WATER MAIN TRENCH SECTION	CHEMICAL NO. WS.1
	MATERIAL BEING INSTALLED.		

[illegible]

	HIGHLANDS OF LOVELAND	SECTION 13, TOWN 6, E. RANGE 1 BTM CITY OF LOVELAND HAMILTON COUNTY, OHIO	UTILITY DETAILS
--	-----------------------	---	-----------------

[illegible]



[illegible][illegible][illegible]

[illegible][illegible]

Detail	Figure
Gravity Retaining Wall	1
Gravity Retaining Wall with Surcharge	2
Gravity Retaining Wall with Surcharge and Layer of Gravel	3
Gravity Retaining Wall with Surcharge and Layer of Gravel, Wall Face and Base	4
Gravity Retaining Wall with Surcharge and Layer of Gravel, Wall Face and Base	5
Gravity Retaining Wall with Surcharge and Layer of Gravel, Wall Face and Base	6
Gravity Retaining Wall with Surcharge and Layer of Gravel, Wall Face and Base	7
Gravity Retaining Wall with Surcharge and Layer of Gravel, Wall Face and Base	8
Gravity Retaining Wall with Surcharge and Layer of Gravel, Wall Face and Base	9
Gravity Retaining Wall with Surcharge and Layer of Gravel, Wall Face and Base	10

**AND SLOPE PROTECTION**

Figure 10 consists of four diagrams labeled A, B, C, and D, illustrating different methods of slope protection. Each diagram shows a cross-section of a slope with a stone wall and a 10% slope.

- Diagram A:** Shows a cross-section of a slope with a stone wall and a 10% slope. The wall is labeled "STONE WALL" and the slope is labeled "10% SLOPE".
- Diagram B:** Shows a cross-section of a slope with a stone wall and a 10% slope. The wall is labeled "STONE WALL" and the slope is labeled "10% SLOPE".
- Diagram C:** Shows a cross-section of a slope with a stone wall and a 10% slope. The wall is labeled "STONE WALL" and the slope is labeled "10% SLOPE".
- Diagram D:** Shows a cross-section of a slope with a stone wall and a 10% slope. The wall is labeled "STONE WALL" and the slope is labeled "10% SLOPE".

[illegible]

1. Inlet clarifications tank and pond. The water from the inlet clarifications tank flows into the pond. The pond is a rectangular tank with a grass layer at the bottom. The water level in the pond is indicated by a dashed line.
2. The Grass water level. The water level in the pond is indicated by a dashed line. The water level in the pond is the same as the water level in the inlet clarifications tank.
3. The water level in the pond. The water level in the pond is indicated by a dashed line. The water level in the pond is the same as the water level in the inlet clarifications tank.
4. The water level in the pond. The water level in the pond is indicated by a dashed line. The water level in the pond is the same as the water level in the inlet clarifications tank.
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7. The water level in the pond. The water level in the pond is indicated by a dashed line. The water level in the pond is the same as the water level in the inlet clarifications tank.
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10. The water level in the pond. The water level in the pond is indicated by a dashed line. The water level in the pond is the same as the water level in the inlet clarifications tank.

[illegible][illegible]

120

250 N	50 N	50 S
100	100	100

121

122

[illegible][illegible]

1

1

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100

100

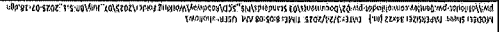
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STATE OF OHIO OFFICE OF ROADWAY ENGINEERING ADMINISTRATION	Adam Koenig
01-21-2022 07-15-2025 01-17-2025 07-18-2025	D. Fisher
OFFICE OF ROADWAY ENGINEERING	

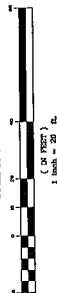
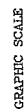
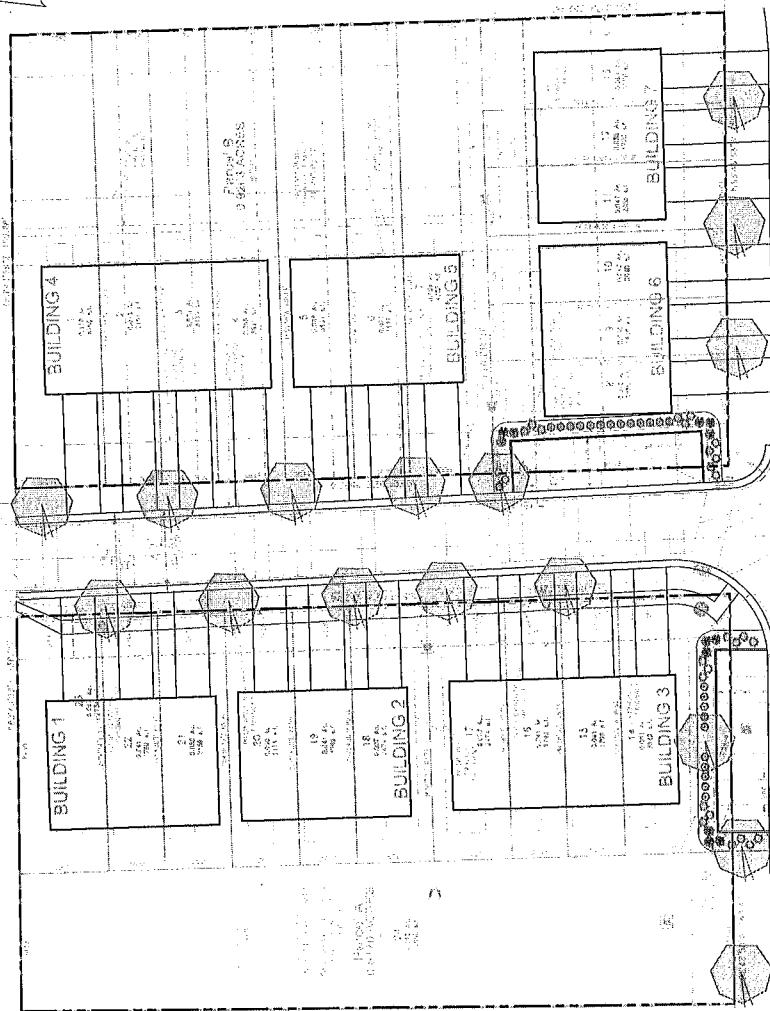
**GENERAL:** This drawing shows alternate types of curb that may be used on various types of pavement. This is not a detail of curb, but is intended to show the location of curb on various types of pavement. This is not a detail of curb, but is intended to show the location of curb on various types of pavement.







W MAIN ST & HIGHLAND ST  
LANDSCAPE PLAN



PLANT SCHEDULE				
TREES				
QUANTITY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	REMARKS
16	<i>Urena americana</i> "Prickly Pear"	Prickly Elm	2' CAL. MIN. 8'-10' HT.	Specimen

SHRUBS				
QUANTITY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	REMARKS
8	<i>Banksia laevis</i> "Mountain Laurel"	Green Mountain	15 GAL. 3" HT. MIN.	
28	<i>Bay glabra</i>	Hollyberry	15 GAL. 3" HT. MIN.	Fed



**EXHIBIT “C”**

Special Planning District (SPD) 20

Highlands of Loveland

Development Guidelines Pursuant to  
Section 1151.05

SPD – Development Standards  
**Highlands of Loveland**  
City of Loveland, Hamilton County, Ohio

**General Information**

Applicant: JA Development, LLC  
7594 Tylers Place Blvd.  
West Chester, OH 45069

Property Owner: JA Development, LLC  
7594 Tylers Place Blvd.  
West Chester, OH 45069

Subject Property: Approx. 1.7433 acres  
Intersection of Highland and W.  
Main St. Loveland, OH 45140

Highland Street (Parcel #s:  
62100060013, 62100060012,  
62100060267, 62100060266,  
62100060265, 62100060264,  
62100060263, 62100060262,  
62100060261)

Main Street (Parcel #s:  
62100060259, 62100060260)

Project Developer: JA Development, LLC  
7594 Tylers Place Blvd.  
West Chester, OH 45069

Existing Zoning: Residential Multi-Family

Proposed Zoning: Residential SPD

## **Development Standards**

### **General:**

1. The SPD is intended to establish 23 building lots for residential homes.

### **Principal Permitted Uses:**

1. Permitted use is Single-Family Home.

### **Accessory Uses:**

1. Allowable accessory use structures to meet development guidelines in section 1151.05

*Accessory use structures shall be located in the rear yard only and shall meet the following conditions:*

- a) For all lots less than one acre, accessory structures shall have an average height of no greater than fifteen (15) feet and shall be limited to six hundred (600) square feet, or 35% of the required rear yard, which ever is less.*
- b) For all lots one acre or greater, accessory structures shall have an average height of no greater than fifteen (15) feet and shall be limited to six hundred and one (601) to twelve hundred (1,200) square feet, or 35% of the required rear yard, which ever is less. For any accessory use structure greater than six hundred (600) square feet, the applicant must receive a conditional use approval pursuant to the procedures in §1111.06 of this Zoning Code.*
- c) All accessory use structures greater than two hundred (200) square feet shall not be constructed with a metal facade and shall be complimentary to the principle structure on the property.*
- d) Accessory use structures two hundred (200) square feet or less in size shall be located no closer than six (6) feet from any lot line. Accessory use structures over two hundred (200) square feet shall be located no closer than fifteen (15) feet from any lot line.*
- e) Accessory use structures located on property with access to two or more streets shall be adequately screened to reduce the visual impacted to the surrounding homes.*

### **Maximum Number of Units, Density, and Units per Building:**

1. The maximum number of units for the development shall be 23 dwelling units.
2. The maximum density shall not exceed 1 dwelling unit per lot.

### **Phasing:**

1. The development is expected to be a single phase in 2026.

### **Lot Size and Minimum Setbacks:**

1. Minimums for lot size, setbacks, and more are listed in table below. Building area is outlined on the proposed development plan.

	<b>Minimum</b>
Lot Area	1690 Sq. Ft.
Lot Width	20'
Front Yard Set Back	15'
Side Yard Setback	0' (See <b>Attachment B</b> for each lot)
Rear Yard Setback	15'
	<b>Maximum</b>
Structure Height (principal)	35' (2-story units)
Structure Height (accessory)	15'
Floor Area (lot)	48%
Impervious Surface (lot)	75%

**Open Space:**

1. Open space shall consist of 0.295 acres / 16.9% total development.
2. All open space parcels shall be owned and maintained by developer.

**Perimeter Buffer and Landscaping:**

1. Refer to Landscape Plan, **L1.1**.

**Vehicular Access, Circulation, Parking:**

1. Off-street parking to be provided as shown in C3.0 within right-of-way.
2. 9' x 18' typical space (8' x 18' ADA with 5' hatched area).
3. 14 Total Parking Spaces, including 1 ADA.
4. All parking spaces to be curbed with 6" barrier curb and rolled curb and gutter.
5. No backstops, utilization of 6" barrier curb for backstop.

**Pedestrian Access and Circulation:**

1. Sidewalks to be installed on west side of Highland.

**Utilities Service:**

1. All utilities shall be public.
2. All new utilities shall be constructed, installed, and maintained to the standards of the City of Loveland Engineering department.
3. All new utilities shall be located underground.
4. Water service shall be from City of Loveland.
5. Curbside Residential trash service.

**Signage:**

1. Monument sign proposed, 6' x 30", brick. Location as shown on **C3.0**.

**Architectural and Design Requirements:**

1. Vinyl Siding should be Board & Batten or Horizontal lap.
2. Slab foundations.
3. Asphalt Shingles.
4. Vinyl Windows.
5. Fiberglass painted front doors.
6. Painted Composite exterior trim and columns.
7. Brick Veneer.
8. Reference Architectural rendering, **Attachment D**.

**Lighting:**

1. Garage and entry door lights only.

**Homeowners Association Requirements and Responsibilities:**

1. HOA to be formed.
2. Responsible for maintenance and operation of all private easements, parking locations, detention basins.

Attachment A – Legal Description

Attachment B – Proposed Development Plan

Attachment C – Landscape Plan

Attachment D – Exterior Rendering, Proposed Elevation, Signage

ATTACHMENT "A"

Special Planning District (SPD) 20

Highlands of Loveland

Legal Descriptions

15416 00621

Convey number: 381954  
Deed number: 25-653879  
Instr. number: 25-656731  
Transfer date: 05/14/2025  
Sec.: 319.202, R.C.  
Sec.: 322.02 R.C.  
Jessica Miranda  
Hamilton County Auditor  
Sales Amount: 450,000.00  
Permissive fee: 900.00  
Transfer fee: 5.50  
Conveyance fee: 450.00

Scott Crowley  
Hamilton County Recorder's Office  
Doc #: 2025-0035310 Type: DE  
Filed: 05/14/25 08:25:02 AM \$42.00  
Off. Rec.: 15416 00621 F 3 104



**GENERAL WARRANTY DEED**

**PARKSIDE DEVELOPMENT GROUP, LLC**, an Ohio limited liability ("Grantor"), for valuable consideration paid, grants, with general warranty covenants, to **J.A. DEVELOPMENT, LLC**, an Ohio limited liability company whose tax-mailing address is 7594 Tylers Place Blvd., Suite A, West Chester, OH 45069 ("Grantee") the following real property ("Property"):

**SEE EXHIBIT "A" ATTACHED HERETO  
AND MADE A PART HEREOF**

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*[The remainder of this page is intentionally left blank exclusive of footers, if any.]*



Executed on May <sup>(NJP)</sup>2, 2025.

GRANTOR:  
PARKSIDE DEVELOPMENT GROUP, LLC,  
an Ohio limited liability company

Kristin Landolt  
By: Kristin Landolt  
Its: Authorized Representative

STATE OF Ohio :  
COUNTY OF Hamilton : ss:

The foregoing instrument was acknowledged before me on May 2, 2025 by <sup>(NJP) Kristin</sup> Kristin Landolt, Authorized Representative of Parkside Development Group, LLC, an Ohio limited liability company, on behalf of the company.



Norman John Frankowski, II, Attorney At Law  
NOTARY PUBLIC - STATE OF OHIO  
My commission has no expiration date  
Sec 147.03 O.R.C.

Norman John Frankowski, II  
Notary Public

This instrument prepared for independent review of Grantor by : Norman J. Frankowski, II, Esq.,  
Flagel & Papakirk LLC, 50 E-Business Way, Suite 410, Cincinnati, Ohio 45241, (513) 984-8111.

Tax Map - May 12 2025 DV

CAGIS - \_\_\_\_\_

EXHIBIT A

PARCELS 1 - 9 (Parcel 10 intentionally omitted):

Situated in Section 18, Town 5, Entire Range 1, Symmes Township, City of Loveland, Hamilton County, Ohio, and being Lots 1 thru 9 ----- depicted in Highland Street Residences, Phase 1 Subdivision, as recorded in Plat Book 497, Page 32 of the Hamilton County, Ohio records.

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st 621-6-263  
621-6-264 st  
st 621-6-265  
621-6-266 st  
st 621-6-267

PARCELS 11 - 12:

Situate in Section 18, Town 5, Range 1, Symmes Township, Hamilton County, Ohio and being Lots 10 and 11 of J. V. Cushing's Subdivision of Loveland, being a resubdivision of Lot 21 of the Cincinnati Savings Society's Addition to Loveland, a plat of which is recorded in Plat Book 13, Page 118, Hamilton County, Ohio Records.

Lot 10 fronts on the north side of Main Street 56.375 feet and runs back northwardly along the west line of Highland Street the same width 252.70 feet.

Lot 11 fronts on the north side of Main Street, 86.375 feet and runs back northwardly the same width 252.70 feet.

Parcel Nos.: 621-0006-0012-00 st  
621-0006-0013-00  
st

Scott Crowley  
Hamilton County Recorder's Office  
Doc #: 2023-0027698 Type: PL  
Filed: 04/25/23 12:09:17 PM \$86.40  
Off.Rec.: 14902 00520 F 1 129

# PLAT



**SEE NEXT PAGE TO VIEW IMAGE**

BOOK 497

PAGE 32

OWNER(S): Parkside Development Group, LLC

TYPE/NAME: Highland Street Residences Subdivision Phase I

(ATTACHED TO: O.R. N/A PG N/A)



ATTACHMENT "B"

Special Planning District (SPD) 20

Highlands of Loveland

Proposed Development Plan

# HIGHLANDS OF LOVELAND

SECTION 13, TOWN 5, E. RANGE 1 BTM  
CITY OF LOVELAND  
HAMILTON COUNTY, OHIO

## GENERAL NOTES

- [illegible]

## STORM DRAINAGE NOTES

- [illegible]

## AREA MAP

## INDEX OF SHEETS

[illegible]

## WATER NOTES

1. ALL WATER MAINS, FIRE HYDRANTS AND RELATED ITEMS SHALL CONFORM WITH CURRENT SPECIFICATIONS OF THE CITY OF CLEVELAND HIGHWAY DEPARTMENT AND THE OHIO ENVIRONMENTAL PROTECTION AGENCY AND SHALL MEET CDDT ITEM 502 AND SHALL BE APPROVED BY THE CITY ENGINEER. ALL WATER MAINS SHALL HAVE UNIFORM COVER OF 48 INCHES AND SHALL BE DUCTILE IRON PIPE, PRESSURE CLASS 350.

# MAINTENANCE SCHEDULE AND RESPONSIBILITY FOR DETENTION BASIN

[illegible]

1. FACILITY TO BE OWNED AND MAINTAINED BY PROPERTY OWNER.
2. ALL STRUCTURAL CATCH BASINS TO BE INSPECTED MONTHLY TO ENSURE CHIMNEYS ARE CLEAN AND FUNCTIONING PROPERLY.
3. DESIGNS TO BE PROVIDED FROM ALL DETENTION BASIN STRUCTURES AFTER LARGE STORM.
4. OUTLET STRUCTURE TO BE INSPECTED AND SECURED TO BE REMOVED ON REGULAR BASIS.
5. REPAIRS TO THE OUTLET STRUCTURE AND OUTLET PIPE TO BE MADE IF NEEDED.
6. AN ANNUAL INSPECTION REPORT OF THE DETENTION FACILITY IS TO BE SUBMITTED TO THE CITY OF LOVELAND, SHOWING THE FACILITY IS FUNCTIONING.

## OWNER/DEVELOPER

IA Developer  
1594 A Tyers Place Boulevard  
West Chester, OH 45069  
sacofab@parishornet.com

**ENGINEER, SURVEYOR &  
LANDSCAPE ARCHITECT**

Boyer Becker  
6900 Tyersville Road, Suite A  
Mason, OH 45040  
913.356-6610

## UTILITY COMPANIES

(S12)	Sanitary Sewer	Metropolitan Sewer District
(S11)	Water	City of Loveland Water
(S10)	Gas	Duke Energy
(S9)	Electric	Duke Energy
(S8)	Telephone	Chinook Bell Telephone
(S7)	Cable TV	Charter Communications

## LEGEND

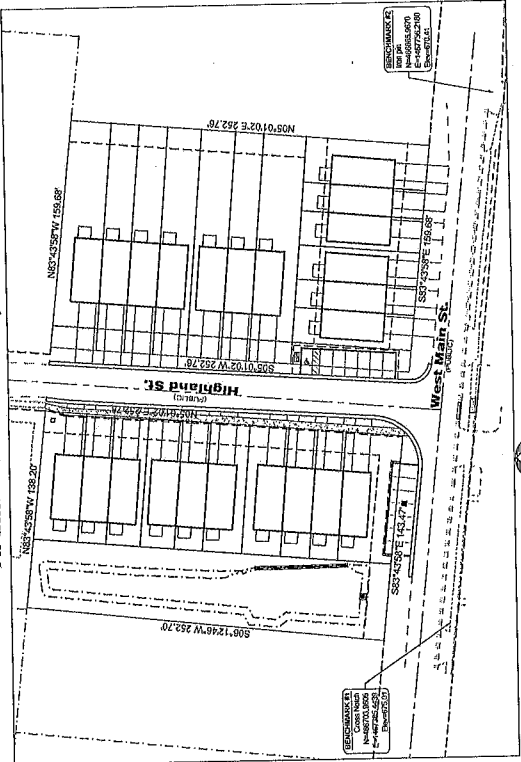
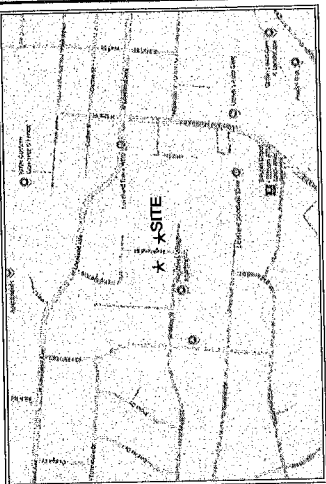
[illegible]

### VICINITY MAP

**BENCHMARK #1**  
A SET POINT ALONG THE SOUTH  
SIDE OF WEST MAIN STREET  
60' NORTH FROM AN EXISTING UTILITY POLE AND  
4' NORTH FROM THE EXISTING BACK OF CURB  
ELEVATION=800.41  
ELEVATION=407.255/4565  
EASTING=1467255.4820

## BENCHMARK #2

LET IRON PIN ALONG THE SOUTH  
SIDE OF WEST MAIN STREET  
FROM AN EXISTING UTILITY POLE AND  
FROM AN EXISTING FIRE HYDRANT  
ELEVATION=570.41  
NORTHING=468665.4570  
EASTING=1468756.2150



## HIGHLANDS OF LOVELAND

SECTION 13, TOWN 5, E. RANGE 1 BTM  
CITY OF LOVELAND  
HAMILTON COUNTY, OHIO  
TITLE SHEET

[illegible]

C1.0

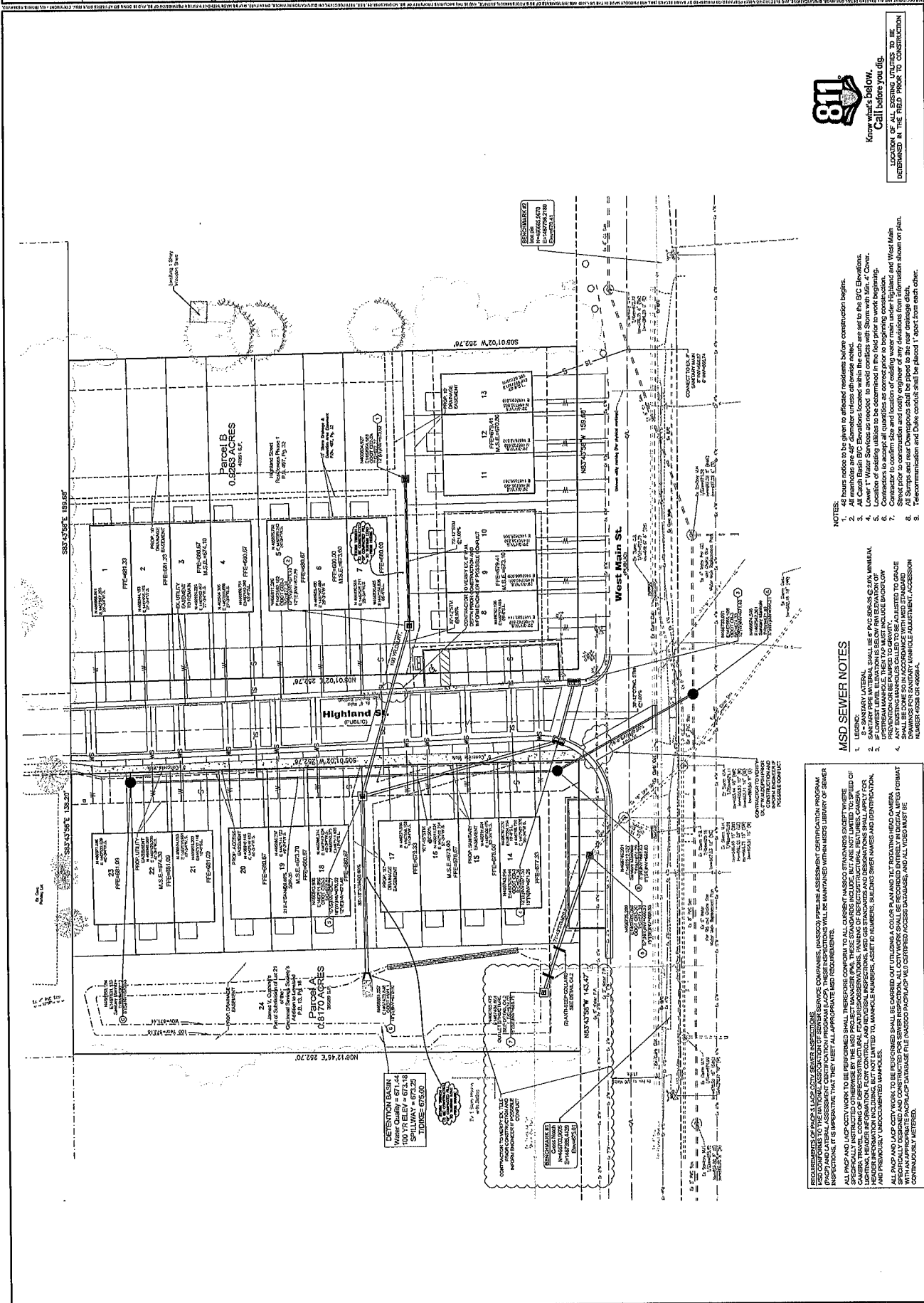
Know what's below.  
Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION







[illegible]

## MSD SEWER NOTES

- LEGEND:  
S = SANITARY LATERAL  
SH = SHOULDER MATERIAL SHALL BE 6" PVC SDR-35 @ 2.0% MINIMUM  
SL = SLOPE LAYER ELEVATION IS BELOW RIN ELEVATION OF  
UPSTREAM MANHOLE. THEN TAP MUST INCLUDE BACKFLOW  
PREVENTION OR BE PUMPED TO GRAVITY.  
ANY EXISTING MANHOLES CALLED TO BE ADJUSTED TO GRADE  
SHALL BE DONE SO IN ACCORDANCE WITH MSD STANDARD  
DRAWINGS FOR SANITARY MANHOLE ADJUSTMENT, ACCESSION  
NUMBER 40238, OR 40628-A.

- NOTES:
1. 48 hours notice to be given to affected residents before construction begins.
  2. All materials are 48" diam unless otherwise noted.
  3. All Catch Basins & Manholes located within the curb are set to the BVC Elevation.
  4. Lower 1" Water Services as needed to avoid conflicts with Storm with Min. 2' C.C.
  5. Location of existing utilities to be determined in the field prior to beginning construction.
  6. Contractors to confirm all quantities as located prior to beginning construction.
  7. Contractor to confirm size and location of existing structures.
  8. All new manholes to be constructed with 12" manhole risers from information provided.
  9. All Storms and Downspouts should be placed 1' apart from the nearest existing ditch.
  10. Telecommunications Ducts should be placed 1' apart from each other.

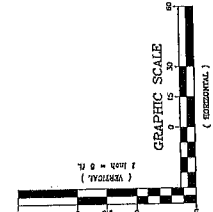
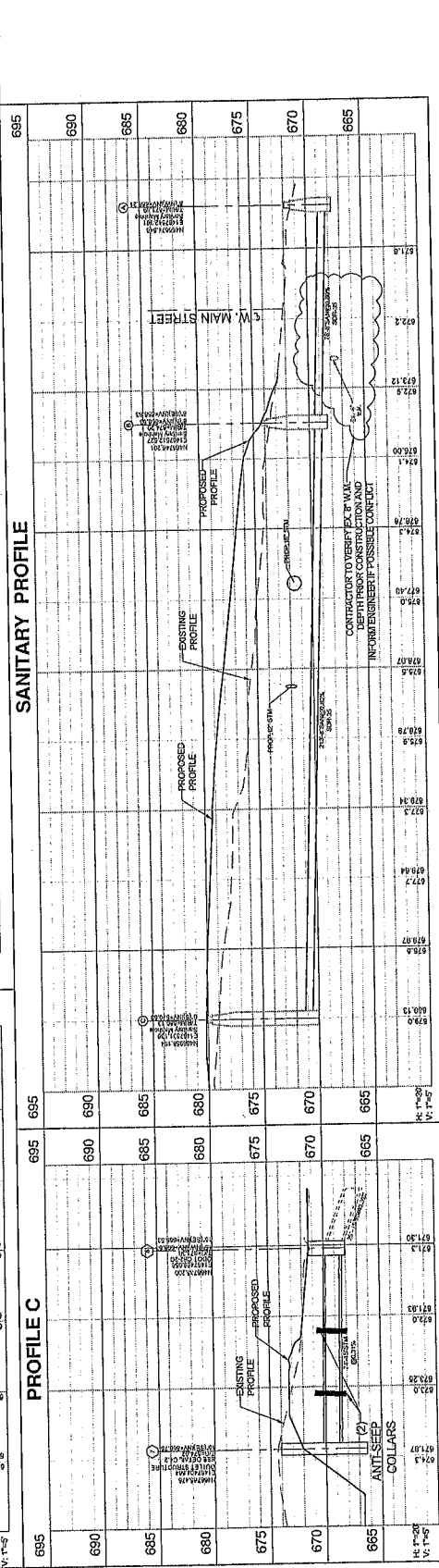


**Know what's below.  
Call before you dig.**

LOCATION OF ALL EXISTING UTILITIES TO BE  
DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

UTILITY PROFILES

\_\_\_\_\_







**CONSTRUCTION SEQUENCE AND EROSION**  
**CONTROL NOTES**

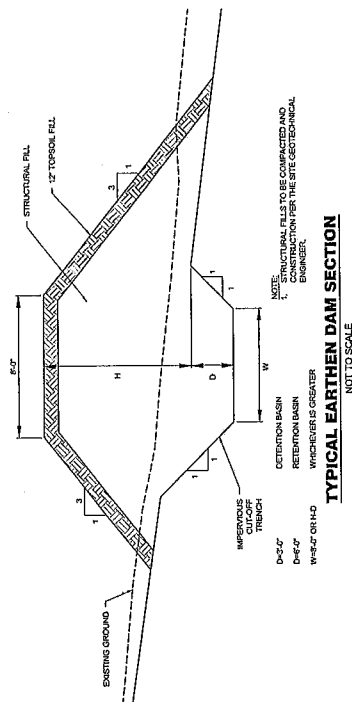
- [illegible]

## SWPPP NOTES

- [illegible]

## GRADING NOTES

- [illegible]











ATTACHMENT "C"

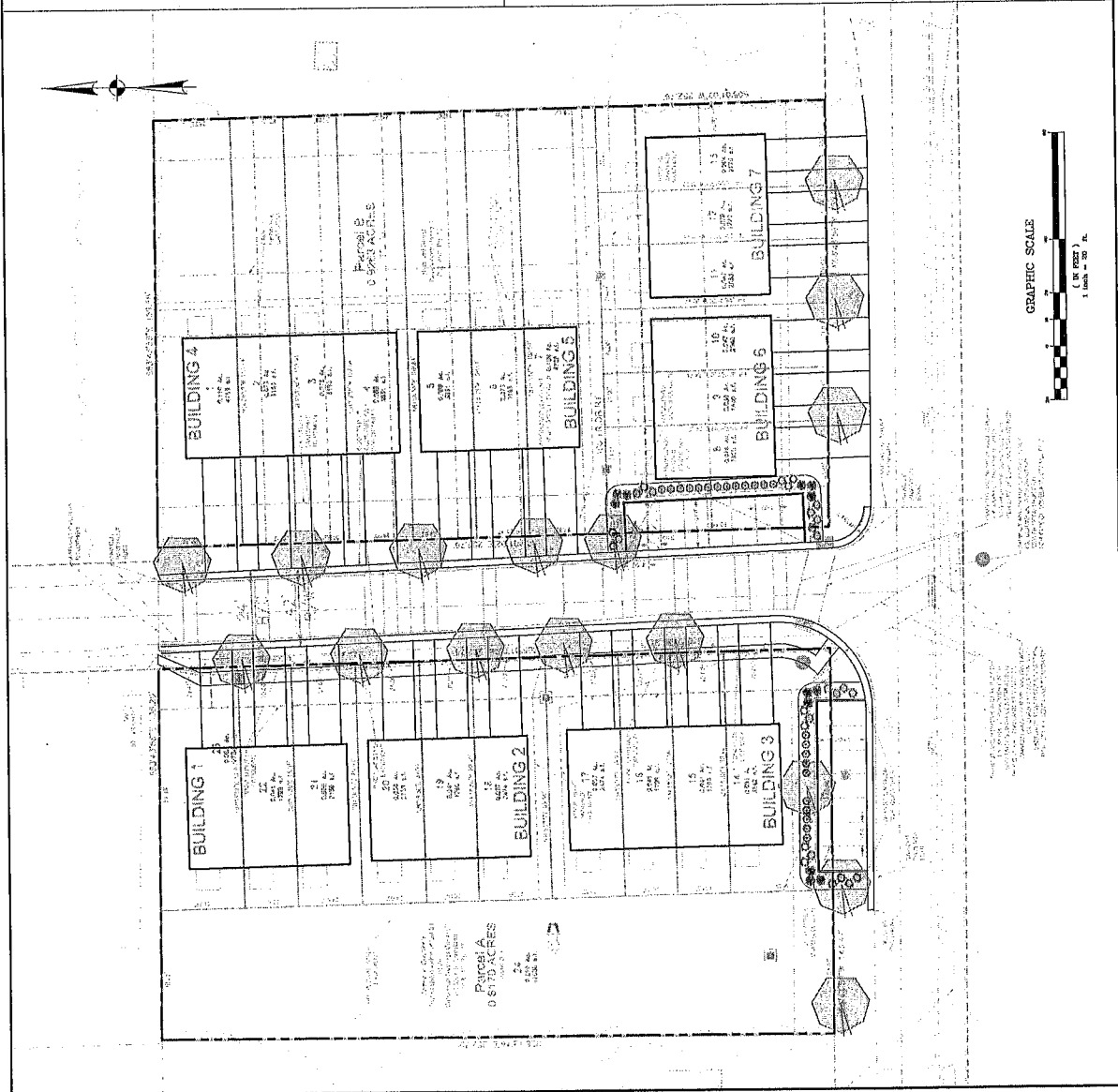
Special Planning District (SPD) 20


Highlands of Loveland

Landscape Plan



W MAIN ST & HIGHLAND ST  
LANDSCAPE PLAN





## PLANT SCHEDULE

TREES		PLANTING SIZE		REMARKS
QUANTITY	SCIENTIFIC NAME	COMMON NAME	2" Cal. Min. 5'-10" HT	Spectum
15	Urena americana "Poinsettia"	Pinkish Elm		

SHRUBS		PLANTING SIZE		REMARKS
QUANTITY	SCIENTIFIC NAME	COMMON NAME	16 GAL. 3' HT. MIN.	Full
2	Bursera x Green Maunabo	Green Maunabo		
28	Lee glabra	Inberry		

ATTACHMENT "D"

Special Planning District (SPD) 20

Highlands of Loveland

Exterior Rendering, Elevations, Signage

48% Maximum Lot Coverage  
1,480 Minimum Living Area (SQ FT)  
Slab Foundations  
9FT First Floors  
8FT Second Floors

Vinyl Siding - Board & Batten  
Vinyl Siding - Horizontal Lap  
Asphalt Shingles  
Vinyl Windows  
Fiberglass Painted Front Doors  
Steel Garage Doors  
Painted Composite Exterior Trim and Columns  
Brick Veneer





4IN Tall Limestone Cap

18  
INCHES

*Highlands  
of  
Loveland*

2FT

6FT Tall

Brick Column

30 Inches

Preliminary: Not for Construction