

Legal Notice
City of Loveland City Council

Loveland City Council will hold a public hearing on Tuesday, January 13, 2026 at or around 7:00 p.m. in the Council Chambers located at Loveland City Hall, 120 W. Loveland Ave., Loveland, Ohio 45140.

The purpose of the hearing is to receive public comments on a proposed zoning text and map amendment to the City of Loveland Code of Ordinances for a Special Planning District (SPD) – Highlands of Loveland located at the intersection of Highland St and West Main St.

Information about the proposed SPD is available for review at City Hall during normal business hours, Monday through Friday or on the City's homepage www.lovelandoh.gov.

Interested persons may appear and be heard with respect to the proposed SPD. Comments may also be submitted in writing to Misty Clark, Clerk of Council, 120 W. Loveland Avenue, Loveland, OH 45140 or emailed to mclark@lovelandoh.gov.

Individuals with disabilities requiring special accommodation that are participating in or wish to attend this hearing should call 513-683-0150 at least seven (7) days in advance so arrangements can be made.



City of Loveland

CITY OF LOVELAND CITY COUNCIL NOTICE OF FINAL ACTION

December 4, 2025

Ref: Case #25-04 – Highlands of Loveland Special Planning District (SPD) #20
Application to Consider the Formal Zoning Map & Text Amendment for SPD #20

This correspondence shall serve as **Notice of Final Action** by the City of Loveland City Council, regarding the above-referenced application filed by:

JA Development, LLC
7594 Tylers Place Blvd
West Chester, Ohio 45069

The above-referenced application sought the initiation of a Formal Zoning Map and Text Amendment required pursuant to Chapter 1151, Section 1151.02(b)(2) of the Planning and Zoning Code for the City of Loveland, Ohio for a previously established Special Planning District (SPD) that was adopted via City Council Resolution, pursuant to Chapter 1151, Section 1151.02(b)(1) and 1151.03 of the SPD regulations contained within the Planning and Zoning Code for the City of Loveland. Specifically, Special Planning District #20 (“Highlands of Loveland”) was established via City Council Resolution 2025-91, adopted on November 12, 2025. As per the requirements of Chapter 1151, Section 1151.07, upon receipt of the above-referenced application, the Planning and Zoning Commission held a public hearing on December 2, 2025, to consider the request to amend the map and zoning text relative to SPD #20.

At the conclusion of the public hearing and as required by Section 1151.07 of the SPD Regulations, the Planning and Zoning Commission took action consistent with the requirements of Section 1151.08 and Section 1151.02(b)(2) to unanimously adopt a motion **formally recommending in favor of the proposed zoning map and text amendment for Special Planning District #20/ “Highlands of Loveland” to City Council as submitted, and incorporating the Required Findings per Chapter 1151, Section 1151.08 of the Special Planning District Regulations, as follows:**

Required Findings per Chapter 1151, Section 1151.08:

- 1) As per 1151.08(a)(1), there has been a change in demand for land which alters the information upon which the zoning map is based. The proposal incorporates an innovative ownership model allowing for owner occupied housing rather than rental units as currently approved. This introduces new ownership opportunities for a part of the city that is currently limited in stock while reinvesting in the neighborhood.
- 2) As per 1151.08(a)(3), the proposed uses cannot be accommodated by sites already zoned in the City due to lack of transportation or utilities or other development constraints, or the market to be served by the proposed use cannot be effectively served by the location of the existing zoning district. The proposal provides neighborhood compatibility with similarly scaled housing as the nearby rental apartments while offering a different tenure model with more long-term investment. The proximity of the project to single family homes as well as multi-family structures provides additional opportunities for ingenuity of design, thereby delivering

a development product that serves as a transition from multi-family to single-family within the area.

- 3) As per 1151.08(a)(5), the proposed development, based on the land practice, is well suited for an SPD. The development allows for a unique owner-occupied model while also providing a transition to the multi-family developments which surround it.
- 4) As per 1151.08(b), no residentially zoned district is being rezoned to a non-residential SPD district. The proposed SPD will not result in residentially zoned land being rezoned to accommodate a non-residential SPD district since the proposed use is clearly residential in character. Also, the property is not proposed for annexation as it is already located within the City's incorporated limits.
- 5) As per 1151.08(c)(1), the proposed amendment and the proposed use comply with adopted plans, goals, and policies. The proposed development is consistent with the recommendations of the adopted 2022 Comprehensive Master Plan, by embracing opportunities for infill development without sacrificing open space or investing in major infrastructure improvements.
- 6) As per 1151.08(c)(2), the property in question is suitable for the uses permitted under the proposed zoning. The property is well-suited for the proposed development and SPD designation as it is a complimentary transition between single family and multi-family in the area.
- 7) As per 1151.08(c)(3), adequate public facilities such as transportation, utilities, and other required public services exist to serve the proposed use. Adequate utilities exist to serve the proposed development. The existing street network will be utilized for access.
- 8) As per 1151.08(c)(4), the proposed rezoning will not have an adverse impact upon surrounding uses. The proposed development will not have an adverse impact on surrounding uses because the development's density is similar to the surrounding area. Since the project is decidedly residential in character, there is no anticipated impact to properties immediately adjacent to the project. Appropriate buffer yard areas have also been included to address potential deleterious impacts to surrounding properties.
- 9) As per 1151.08(c)(5), the proposed rezoning will have a positive impact upon the economic viability of existing developed and vacant land within the City. The proposed rezoning will allow for creative development to occur in near proximity to the City's Loveland Heights area. The proposal incorporates an innovative ownership model allowing for owner occupied housing rather than rental units. This introduces new ownership opportunities for a part of the city that is currently limited in stock while reinvesting in the neighborhood.
- 10) As per 1151.08(d), the proposed amendment accommodating SPD #20 is in the public interest.

As part of the motion recommending for the adoption of the proposed zoning map and text amendment for SPD #20 / "Highlands of Loveland", the Planning and Zoning Commission directed that this **Notice of Final Action** documenting the recommendation of the Commission be immediately forwarded to City Council, thereby satisfying the requirements that the recommendation of the Commission be forwarded to Council within thirty-five (35) days of the close of the public hearing to consider the zoning map and text amendment for the SPD, as per Part 11, Title 3, Chapter 1151, Section 1151.08(f) of the Planning and Zoning Code.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read 'C. Wojnicz', with a long, sweeping flourish extending to the right.

Chris Wojnicz, PE, LEED AP
Assistant City Manager

cc David Kennedy, City Manager, email
Eva Wisby, email
File

Resolution adopting Findings of Fact, Conceptual Plan and Development Guidelines for the establishment of a Special Planning District #20 in accordance with Part 11, Title 3, Chapter 1151 of the Loveland Code of Ordinances

WHEREAS, pursuant to Section 1151.01 of the Loveland Planning and Zoning Code, the purpose and scope of a Special Planning District (“SPD”) is to regulate the development and use of property in areas throughout the City that contain sensitive or unique environmental, historic, architectural, or other features which require additional protections and flexibility not provided through the application of the current standard Zoning Ordinance, and to promote creative and sensitive site planning; and

WHEREAS, it is further the intent of the SPD process to provide an effective method for the City to guide the development of such areas so as to preserve such unique characteristics; and

WHEREAS, a developer wishes to utilize the SPD zoning classification to construct a twenty-three unit single family attached residential development on approximately 1.7433 +/- acres, to be known as the Highlands of Loveland, located at the intersection of Highland Street and West Main Street, Loveland Ohio 45140 on parcels 62100060013, 62100060012, 62100060267, 62100060266, 62100060265, 62100060264, 62100060263, 62100060262, 62100060261, 62100060259, 62100060260 as identified by the Hamilton County Auditor; and

WHEREAS, Loveland City Council (“City Council”) was presented with a concept plan, development guidelines and finding of facts related to the proposed development.

NOW, THEREFORE BE IT RESOLVED by the Council of the City of Loveland, Hamilton, Clermont and Warren County, Ohio:

Section 1. City Council finds that the Highlands of Loveland is to be developed on land that is situated in such a manner as to allow for ingenuity, imagination, and design efforts on the part of the builders, architects, site planners, and developers, thereby keeping with the overall land use intensity and open space objectives of the 2022 Comprehensive Master Plan for the City of Loveland while departing from the strict application of use, setback, height, and minimum lot size requirements contained in the Zoning Code, in accordance with Section 1151.03(c) of the of the Codified Ordinances of the City of Loveland, Ohio.

Section 2. City Council further finds that a Special Planning District for the Highlands of Loveland will be consistent with the goals of the 2022 Comprehensive Master Plan for the City of Loveland, Ohio.

Section 3. The proposed Special Planning District pursuant to Section 1151.03 (c) of the Loveland Code of Ordinances will be identified as “Special Planning District 20.”

Section 4. City Council, in accordance with Section 1151.03 of the City of Loveland Code of Ordinances hereby adopts the Written Findings of Fact in furtherance of the establishment of Special Planning District 20, attached as **Exhibit A** to this Resolution and incorporated herein by reference.

Section 5. In accordance with Section 1151.04 of the City of Loveland Code of Ordinances, City Council hereby adopts the Required Conceptual Plan governing development and land use within Special Planning District 20, attached as **Exhibit B** to this Resolution and incorporated herein by reference.

Section 6. In accordance with 1151.05 of the City of Loveland Code of Ordinances, City Council hereby establishes Development Guidelines for development within Special Planning District 20, attached as **Exhibit C** to this Resolution and incorporated herein by reference.

Section 7. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 8. That this resolution shall take effect from and after the earliest time allowed by law.



Mayor


Clerk of Council

Approved as to Form:



City Solicitor

Passed: 11-12-2025

EXHIBIT "A"

Special Planning District (SPD) 20

Highlands of Loveland

Written Findings of Fact Pursuant to
Section 1151.03

FINDINGS OF FACT

1151.03 Required Findings of Fact For the Establishment of an SPD District

In accordance with Section 1151.03, for Council to adopt a Special Planning District (SPD) it must first make a written findings of fact, that one or more of the following requirements exist:

(a) A concentration of retail and service oriented commercial establishments serving as a principal business activity center for the community.

(b) Land that is occupied by substantial natural characteristics worthy of preservation or which are historic aids to the identification of residential communities which help residents relate to their communities and to relate the social organization of communities to their physical environments.

(c) Lands which permit for ingenuity, imagination, and design efforts on the part of builders, architects, site planners, and developers that can produce residential developments which are in keeping with overall land use intensity and open space objectives of the Comprehensive Plan while departing from the strict application of use, setback, height, and minimum lot size requirements contained in the Zoning Code.

Based on a review of the supporting materials, the proposed SPD meets 1151.03 (c) as highlighted above.

The proposal incorporates an innovative ownership model allowing for owner occupied housing rather than rental units as currently approved. This introduces new ownership opportunities for a part of the city that is currently limited in stock while reinvesting in the neighborhood.

The proposal utilizes creative site planning and architectural design maximizing private outdoor areas and incorporating garage parking, a significant departure from traditional multi-family layouts.

The proposal provides neighborhood compatibility with similarly scaled housing as the nearby rental apartments while offering a different tenure model with more long term investment. The proximity of the project to single family homes as well as multi-family structures provides additional opportunities for ingenuity of design, thereby delivering a development product that serves as a transition from multi-family to single-family within the area.

In addition, the proposal will fulfill the goals of the Comprehensive Master Plan for the Loveland Heights area by embracing opportunities for infill development without sacrificing open space or investing in major infrastructure improvements.

As such, the proposal satisfies Section 1151.03(c) of the Special Planning District regulations. The developer is utilizing ingenuity and imagination to produce a residential development which maintains the objectives of the Comprehensive Plan, while creating a distinct, yet compatible, compact high-quality development.

EXHIBIT "B"

Special Planning District (SPD) 20

Highlands of Loveland

Conceptual Plan Pursuant to Section
1151.04

15416 00621

Convey number: 381954
Deed number: 25-653879
Instr. number: 25-656731
Transfer date: 05/14/2025
Sec.: 319.202 R.C.
Sec.: 322.02 R.C.
Jessica Miranda
Hamilton County Auditor
Sales Amount: 450,000.00
Permissive fee: 900.00
Transfer fee: 5.50
Conveyance fee: 450.00

Scott Crowley
Hamilton County Recorder's Office
Doc #: 2025-0035310 Type: DE
Filed: 05/14/25 08:25:02 AM \$42.00
Off. Rec.: 15416 00621 F 3 104



GENERAL WARRANTY DEED

PARKSIDE DEVELOPMENT GROUP, LLC, an Ohio limited liability ("Grantor"), for valuable consideration paid, grants, with general warranty covenants, to **J.A. DEVELOPMENT, LLC**, an Ohio limited liability company whose tax-mailing address is 7594 Tylers Place Blvd., Suite A, West Chester, OH 45069 ("Grantee") the following real property ("Property"):

**SEE EXHIBIT "A" ATTACHED HERETO
AND MADE A PART HEREOF**

There are excepted from the general warranty covenants and the Property is conveyed subject to the lien of non-delinquent taxes.

Prior instrument references:

Off. Rec. 14335, Page 00292 of the Official Records of the Hamilton County, Ohio Recorder;

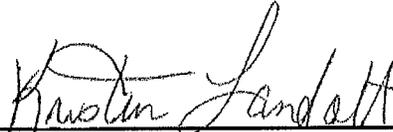
Off. Rec. 14253, Page 00777 of the Official Records of the Hamilton County, Ohio Recorder

Hamilton County, Ohio Parcel Identification Nos. 621-0006-0259 through 621-0006-0267, inclusive, 621-0006-0012 and 621-0006-0013 (11 total parcels)

[The remainder of this page is intentionally left blank exclusive of footers, if any.]

Executed on May 2, 2025.

GRANTOR:
PARKSIDE DEVELOPMENT GROUP, LLC,
an Ohio limited liability company



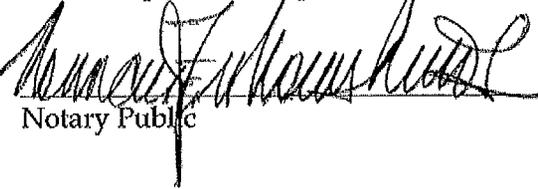
By: Kristin Landolt
Its: Authorized Representative

STATE OF Ohio :
COUNTY OF Hamilton : ss:

The foregoing instrument was acknowledged before me on May 2, 2025 by ^{(NLF) Kristin} Kristin Landolt, Authorized Representative of Parkside Development Group, LLC, an Ohio limited liability company, on behalf of the company.



Norman John Frankowski, II, Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
My commission has no expiration date
Sec 147.03 O.R.C.


Notary Public

This instrument prepared for independent review of Grantor by : Norman J. Frankowski, II, Esq.,
Flagel & Papakirk LLC, 50 E-Business Way, Suite 410, Cincinnati, Ohio 45241, (513) 984-8111.

Tax Map - May 12 2025 DV

CAGIS - _____

EXHIBIT A

PARCELS 1 - 9 (Parcel 10 intentionally omitted):

Situated in Section 18, Town 5, Entire Range 1, Symmes Township, City of Loveland, Hamilton County, Ohio, and being Lots 1 thru 9 ----- depicted in Highland Street Residences, Phase 1 Subdivision, as recorded in Plat Book 497, Page 32 of the Hamilton County, Ohio records.

Parcel Nos.: 621-6-259 st
621-6-260 st
621-6-261 st
621-6-262 st
st 621-6-263
621-6-264 st
st 621-6-265
621-6-266 st
st 621-6-267

PARCELS 11 - 12:

Situate in Section 18, Town 5, Range 1, Symmes Township, Hamilton County, Ohio and being Lots 10 and 11 of J. V. Cushing's Subdivision of Loveland, being a resubdivision of Lot 21 of the Cincinnati Savings Society's Addition to Loveland, a plat of which is recorded in Plat Book 13, Page 118, Hamilton County, Ohio Records.

Lot 10 fronts on the north side of Main Street 56.375 feet and runs back northwardly along the west line of Highland Street the same width 252.70 feet.

Lot 11 fronts on the north side of Main Street, 86.375 feet and runs back northwardly the same width 252.70 feet.

Parcel Nos.: 621-0006-0012-00 st
621-0006-0013-00
st

Scott Crowley
Hamilton County Recorder's Office
Doc #: 2023-0027698 Type: PL
Filed: 04/25/23 12:09:17 PM \$86.40
Off.Rec.: 14902 00520 F 1 129

PLAT



SEE NEXT PAGE TO VIEW IMAGE

BOOK 497

PAGE 32

OWNER(S): Parkside Development Group, LLC

TYPE/NAME: Highland Street Residences Subdivision Phase I

(ATTACHED TO: O.R. N/A PG N/A)

P.B. 497, Pg. 32

PLANNING DEPARTMENT
CITY OF LOVELAND, OHIO
100 WEST MAIN STREET
LOVELAND, OHIO 45140

OWNER: CRYSTAL DEVELOPMENT GROUP, LLC
124 WEST LOVELAND AVE
LOVELAND, OHIO 45140

OWNER/DEVELOPER:
CRYSTAL DEVELOPMENT GROUP, LLC
124 WEST LOVELAND AVE
LOVELAND, OHIO 45140

PROJECT SUMMARY:
RESIDENCES
TOTAL: 100 UNITS
GROSS AREA: 100,000 SQ. FT.

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RESIDENCES
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VICINITY MAP
The vicinity map shows the project location within the city grid of Loveland, Ohio, near Highland Street and West Main Street.

DEDICATION FOR PUBLIC USE AND ACKNOWLEDGMENT
We, the undersigned, do hereby dedicate to the public use and enjoyment of the City of Loveland, Ohio, the following property...

GRANT OF EASEMENT
The undersigned, Crystal Development Group, LLC, do hereby grant to the City of Loveland, Ohio, an easement for the installation and maintenance of a storm sewer and drainage easement...

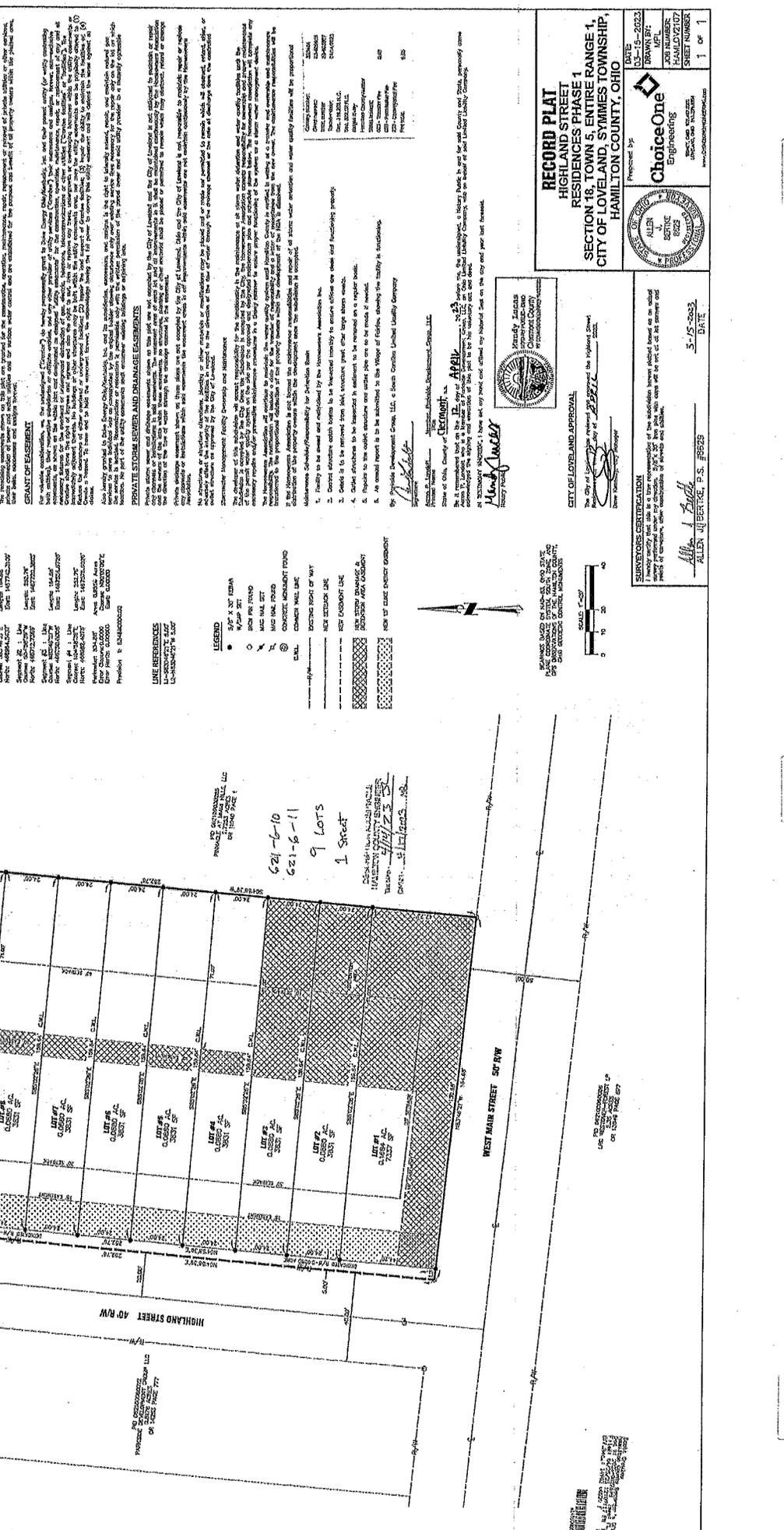
PRIVATE STORM SEWER AND DRAINAGE EASEMENTS
Private storm sewer and drainage easements shown on this plat are not owned by the City of Loveland, Ohio, but are dedicated to the public use and enjoyment of the City of Loveland, Ohio...

PARCEL MAP CHECK REPORT
DATE: 11/09/2011
BY: [Signature]

LINE REFERENCES
L-1: 100'-0" (100'-0" x 100'-0")
L-2: 100'-0" (100'-0" x 100'-0")

LEGEND
1. LOT #1
2. LOT #2
3. LOT #3
4. LOT #4
5. LOT #5
6. LOT #6
7. LOT #7
8. LOT #8
9. LOT #9
10. LOT #10

NOTES
1. THIS PLAT IS SUBJECT TO THE CITY OF LOVELAND, OHIO, ZONING ORDINANCE, CHAPTER 151-01-01.
2. THE CITY OF LOVELAND, OHIO, ENGINEER HAS REVIEWED THIS PLAT AND HAS DETERMINED THAT IT COMPLIES WITH THE CITY OF LOVELAND, OHIO, ZONING ORDINANCE, CHAPTER 151-01-01.



RESIDENCES
The City of Loveland, Ohio, has approved this plat for the installation and maintenance of a storm sewer and drainage easement...

GRANT OF EASEMENT
The undersigned, Crystal Development Group, LLC, do hereby grant to the City of Loveland, Ohio, an easement for the installation and maintenance of a storm sewer and drainage easement...

PRIVATE STORM SEWER AND DRAINAGE EASEMENTS
Private storm sewer and drainage easements shown on this plat are not owned by the City of Loveland, Ohio, but are dedicated to the public use and enjoyment of the City of Loveland, Ohio...

PARCEL MAP CHECK REPORT
DATE: 11/09/2011
BY: [Signature]

LINE REFERENCES
L-1: 100'-0" (100'-0" x 100'-0")
L-2: 100'-0" (100'-0" x 100'-0")

LEGEND
1. LOT #1
2. LOT #2
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RECORD PLAT
HIGHLAND STREET
RESIDENCES PHASE 1
SECTION 16, TOWN 5, ENTIRE RANGE 1,
CITY OF LOVELAND, SYMMES TOWNSHIP,
HAMILTON COUNTY, OHIO

Project by: **ChoiceOne Engineering**

DATE: 11/09/2011
DRAWN BY: [Signature]
CHECKED BY: [Signature]
JOB NUMBER: 10000000000000000000
SHEET NUMBER: 1 of 1

CITY OF LOVELAND APPROVAL

The City of Loveland, Ohio, has approved this plat for the installation and maintenance of a storm sewer and drainage easement...

By: [Signature]
Date: 11/09/2011

SEWERAGE CERTIFICATION

The undersigned, Crystal Development Group, LLC, do hereby certify that the installation and maintenance of a storm sewer and drainage easement shown on this plat complies with the City of Loveland, Ohio, Zoning Ordinance, Chapter 151-01-01.

By: [Signature]
Date: 11/09/2011

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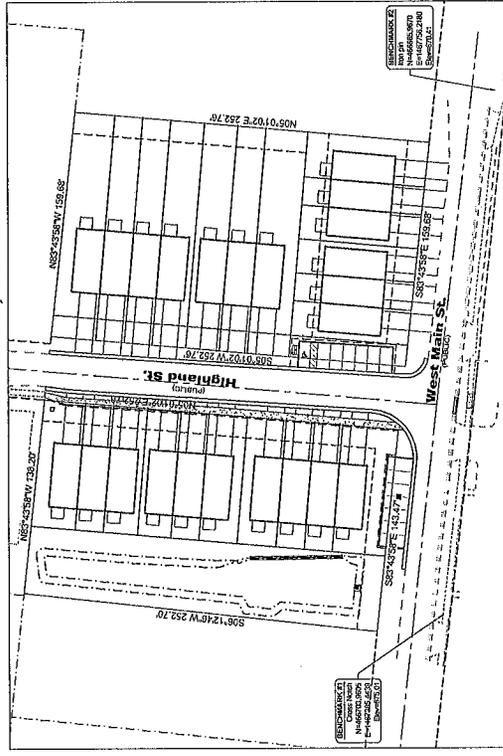
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HIGHLANDS OF LOVELAND

SECTION 13, TOWN 5, E. RANGE 1 BTM CITY OF LOVELAND HAMILTON COUNTY, OHIO



INDEX OF SHEETS

NO.	TITLE	DATE
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4	AREA MAP	05/20/20
5	VICINITY MAP	05/20/20
6	BENCHMARK #1	05/20/20
7	BENCHMARK #2	05/20/20

WATER NOTES

1. ALL WATER MAINS, PIPE FITTINGS AND RELATED ITEMS SHALL CONFORM WITH CURRENT SPECIFICATIONS OF THE CITY OF LOVELAND AND APPROVED AS SHOWN AND MANUFACTURED LIST. ALL WATER MAINS SHALL HAVE MINIMUM COVER OF 48 INCHES AND SHALL BE SLOPED TO MAINTAIN PROPER PRESSURE. (CSD 2.0)
2. CITY OF LOVELAND SHALL ESTABLISH PROCEDURES FOR REMOVAL OF WATER SERVICES DAMAGED.

MAINTENANCE SCHEDULE AND RESPONSIBILITY FOR DETENTION BASIN

1. THE DEVELOPER OF THE DETENTION BASIN SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION AND MAINTENANCE OF THE DETENTION BASIN.
2. THE CITY OF LOVELAND SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE DETENTION BASIN.
3. THE DEVELOPER SHALL MAINTAIN THE DETENTION BASIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF LOVELAND.
4. THE DEVELOPER SHALL MAINTAIN THE DETENTION BASIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF LOVELAND.
5. THE DEVELOPER SHALL MAINTAIN THE DETENTION BASIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF LOVELAND.

GENERAL NOTES

1. BEGIN BY INSTALLING TEMPORARY CURBS, CONSTRUCTION SHELTER LOCATIONS, STAKEOUT, STABLE EARTHWORK OR SOFT ROAD AND LOCAL ROAD SURFACE. IT SHALL BE IN ACCORDANCE WITH THE CITY OF LOVELAND AND HAMILTON COUNTY REGULATIONS.
2. ALL PLANS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF LOVELAND AND HAMILTON COUNTY REGULATIONS.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF LOVELAND AND HAMILTON COUNTY.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF LOVELAND AND HAMILTON COUNTY.
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22. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF LOVELAND AND HAMILTON COUNTY.

STORM DRAINAGE NOTES

1. ALL STORM DRAINAGE SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LOVELAND AND HAMILTON COUNTY REGULATIONS.
2. ALL STORM DRAINAGE SYSTEMS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LOVELAND AND HAMILTON COUNTY REGULATIONS.
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NO.	REVISION	DATE
1	ISSUED FOR PERMIT	05/20/20
2	REVISIONS FOR CITY OF LOVELAND COMMENTS	05/20/20
3	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
4	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
5	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
6	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
7	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
8	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
9	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
10	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
11	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
12	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
13	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
14	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
15	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
16	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
17	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
18	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
19	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20
20	REVISIONS FOR HAMILTON COUNTY COMMENTS	05/20/20

HIGHLANDS OF LOVELAND
SECTION 13, TOWN 5, E. RANGE 1 BTM
CITY OF LOVELAND, OHIO
TITLE SHEET

boyer
WILLIAM BOYER, INC.
4600 KENTWOOD BLVD
MASON, OHIO 45040-0133-3336.0000

PROJECT NO. 2020-0133-3336.0000
SHEET NO. 1 OF 1

C1.0

Know what's below.
Call before you dig.

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

Item	Revision Description	Date	Drawn	CHK.

HIGHLANDS OF LOVELAND
SECTION 13, 20 WA & RANGE 1 DTM
CITY OF LOVELAND
HAMILTON COUNTY, OHIO

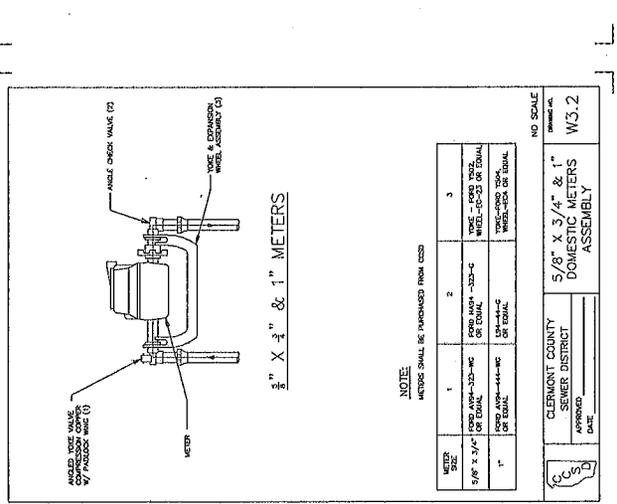
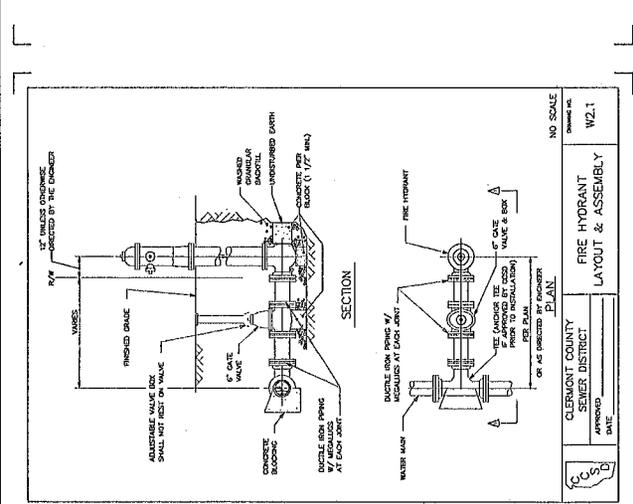
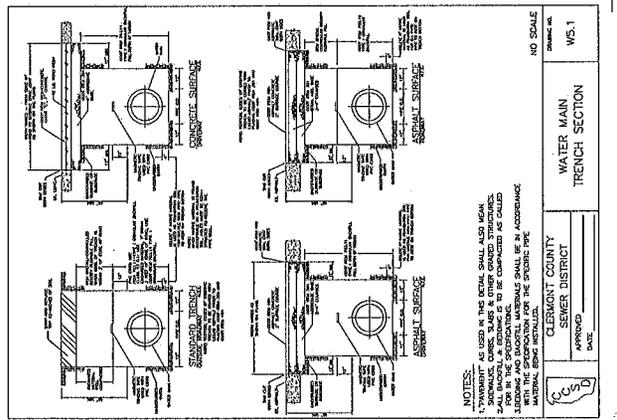
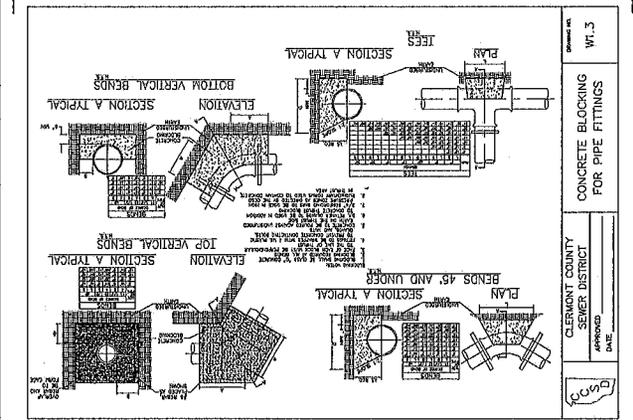
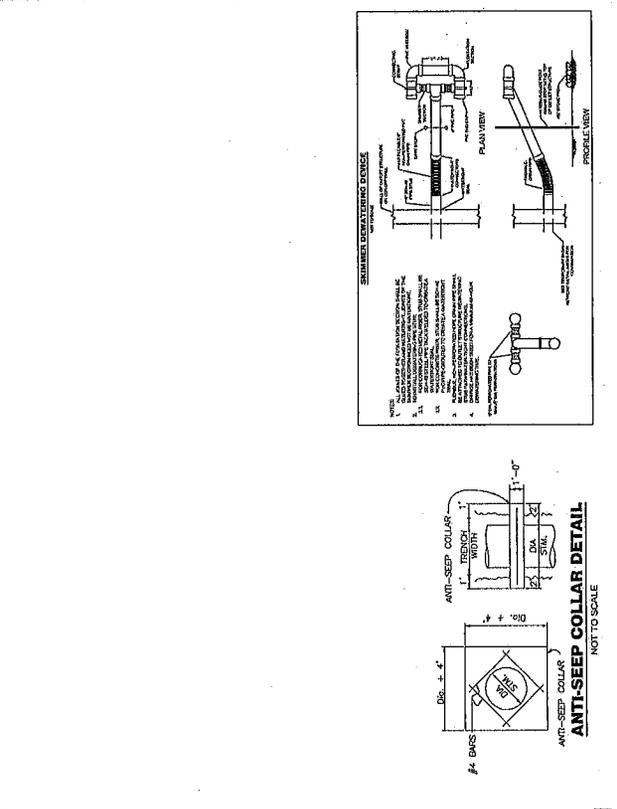
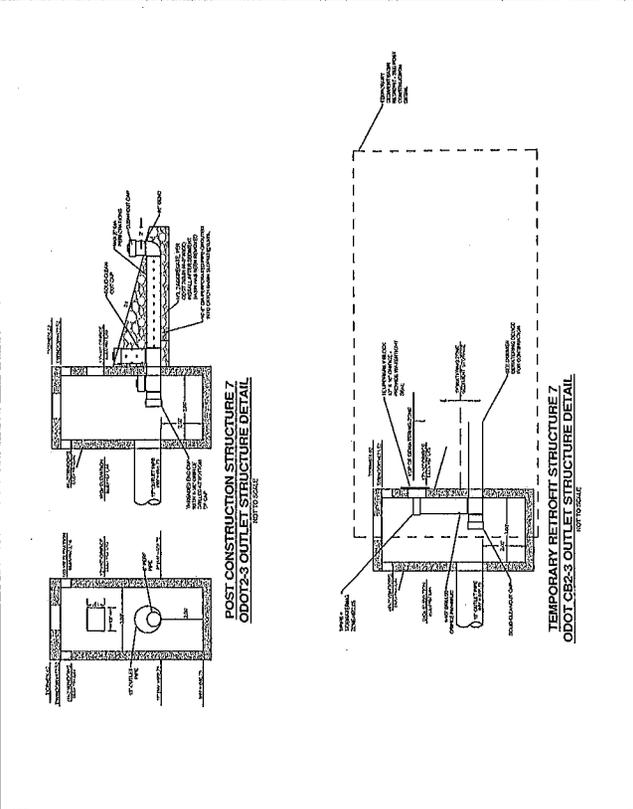
UTILITY DETAILS

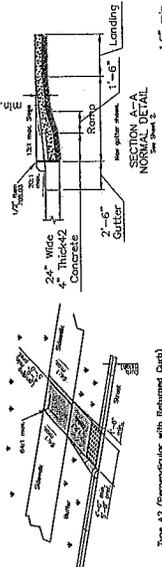
bayer
Watermark logo and name.

MANUFACTURED BY
6900 HYPERION ROAD, SUITE A
MARIETTA, OH 45750-0130, 613.328.8800

DATE: 03/25/20
DRAWN BY: JACQUES CO
CHECKED BY: JACQUES CO
CITY: CLEVELAND

C4.2





Type A2 (Perpendicular with Returned Curb)

NOTES

The running slope of the ramp is preferred to be 1:1 (maximum) of steeper, in existing conditions (e.g. utility poles or vaults, right-of-way limits) it may be reduced as follows:

- 1) 1:1 for a max. rise of 1/2"
- 2) 1:1 for a max. rise of 1"
- 3) 1:1 for a max. rise of 1 1/2"

To prevent churning the grade inadvertently, the transition from existing sidewalk to the sheared curb ramp area is not required to exceed 15 feet in length.

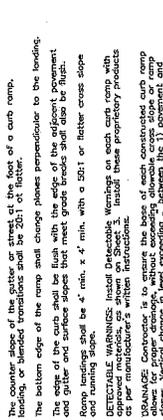
Where ramps are to be placed in the approach, the width, lower landing, and upper landing shall be as follows:

- 1) Lower landing shall be 4' min. x 4' min. with a 1:20:1 or flatter cross slope and running slope.
- 2) Upper landing shall be 4' min. x 4' min. with a 1:20:1 or flatter cross slope and running slope.

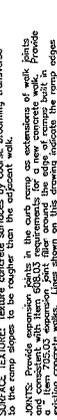
DETECTABLE WARNINGS: Install detectable warnings on each curb ramp with a 2" high 1/4" diameter dome pattern without warning protrusions. The dome pattern shall be 1/4" high and 1/4" diameter. The dome pattern shall be 1/4" high and 1/4" diameter. The dome pattern shall be 1/4" high and 1/4" diameter.

SURFACE TEXTURE: Feature concrete surfaces by coarse brooming transverse to the ramp slopes to be rougher than the adjacent walk.

JOINTS: Provide expansion joints in the concrete walk. Provide a 1/2" high 1/4" diameter expansion joint fiber around the edge to indicate the ramp edge and slope changes, and do not necessarily indicate joint lines.



DOMES ALIGNMENT ON RADUSED CURB



DOMES ALIGNMENT ON RADUSED CURB

DETECTABLE WARNINGS NOTES

Truncated domes which are detectable by cane or underfoot, to alert people with vision impairments of their approach to streets and hazardous conditions.

Detectable warnings are to be installed at any location where pedestrians might cross paths with vehicular traffic lanes, such as the curb, the edge of the sidewalk, the edge of the ramp, and the corner placement locations are shown on Sheet 1.

The depth of concrete underneath detectable warning products shall be a minimum of 2 inches.

Truncated domes should be aligned with the primary direction of the ramp as shown on the DETECTABLE WARNING ALIGNMENT Detail. Normally, truncated domes shall be installed on the curb for non-standard slopes, detectable warning materials may have to be milled and placed separately.

PRODUCTS & COLORS: Color of the detectable warnings should contrast with surrounding products and guidance on color may be found on the Office of Roadway Materials' website at www.ohio.gov. For more information, contact the manufacturer's printed instructions.

CURB RAMP DETAILS

Color of the detectable warnings should contrast with surrounding products and guidance on color may be found on the Office of Roadway Materials' website at www.ohio.gov. For more information, contact the manufacturer's printed instructions.

TYPICAL SIDEWALK SECTION:

SEE SHEET 1 FOR TYPICAL SIDEWALK SECTION.

1) 1/4" DIA. 1/4" HIGH DOME PATTERN

2) 1/4" DIA. 1/4" HIGH DOME PATTERN

3) 1/4" DIA. 1/4" HIGH DOME PATTERN

4) 1/4" DIA. 1/4" HIGH DOME PATTERN

5) 1/4" DIA. 1/4" HIGH DOME PATTERN

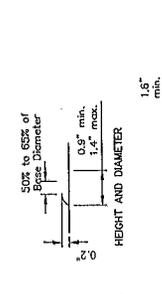
6) 1/4" DIA. 1/4" HIGH DOME PATTERN

7) 1/4" DIA. 1/4" HIGH DOME PATTERN

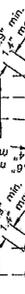
8) 1/4" DIA. 1/4" HIGH DOME PATTERN

9) 1/4" DIA. 1/4" HIGH DOME PATTERN

10) 1/4" DIA. 1/4" HIGH DOME PATTERN



SQUARE PATTERN PARALLEL ALIGNMENT



TRUNCATED DOMES DETAILS



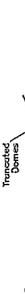
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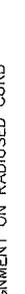
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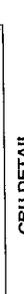
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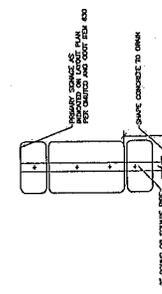
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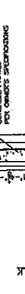
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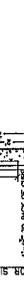
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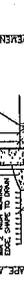
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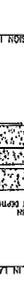
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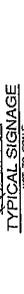
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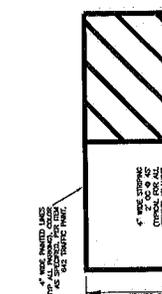
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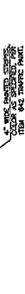
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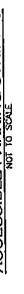
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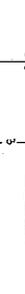
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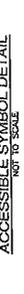
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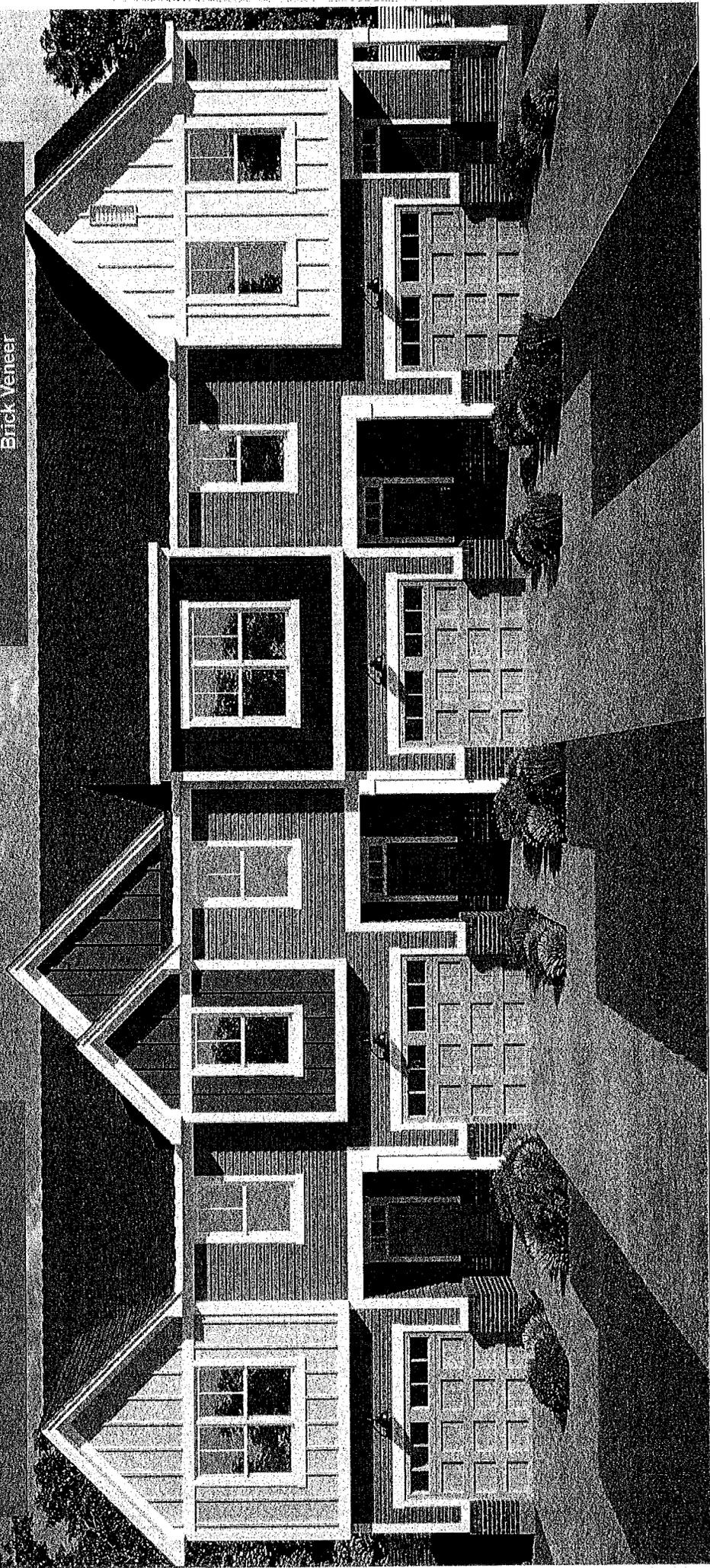


DOMES ALIGNMENT ON RADUSED CURB



48% Maximum Lot Coverage
1,480 Minimum Living Area (SQ.FT.)
Slab Foundations
9FT First Floors
8FT Second Floors

Vinyl Siding - Board & Batten
Vinyl Siding - Horizontal Lap
Asphalt Shingles
Vinyl Windows
Fiberglass Painted Front Doors
Steel Garage Doors
Painted Composite Exterior Trim and Columns
Brick Veneer



15416 00621

Convey number: 381954
Deed number: 25-653879
Instr. number: 25-656731
Transfer date: 05/14/2025
Sec.: 319.202, R.C.
Sec.: 322.02 R.C.
Jessica Miranda
Hamilton County Auditor
Sales Amount: 450,000.00
Permissive fee: 900.00
Transfer fee: 5.50
Conveyance fee: 450.00

Scott Crowley
Hamilton County Recorder's Office
Doc #: 2025-0035310 Type: DE
Filed: 05/14/25 08:25:02 AM \$42.00
Off. Rec.: 15416 00621 F 3 104



GENERAL WARRANTY DEED

PARKSIDE DEVELOPMENT GROUP, LLC, an Ohio limited liability ("Grantor"), for valuable consideration paid, grants, with general warranty covenants, to **J.A. DEVELOPMENT, LLC**, an Ohio limited liability company whose tax-mailing address is 7594 Tylers Place Blvd., Suite A, West Chester, OH 45069 ("Grantee") the following real property ("Property"):

**SEE EXHIBIT "A" ATTACHED HERETO
AND MADE A PART HEREOF**

There are excepted from the general warranty covenants and the Property is conveyed subject to the lien of non-delinquent taxes.

Prior instrument references:

Off. Rec. 14335, Page 00292 of the Official Records of the Hamilton County, Ohio Recorder;

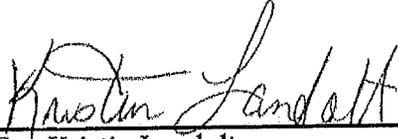
Off. Rec. 14253, Page 00777 of the Official Records of the Hamilton County, Ohio Recorder

Hamilton County, Ohio Parcel Identification Nos. 621-0006-0259 through 621-0006-0267, inclusive, 621-0006-0012 and 621-0006-0013 (11 total parcels)

[The remainder of this page is intentionally left blank exclusive of footers, if any.]

Executed on May 1, 2025.

GRANTOR:
PARKSIDE DEVELOPMENT GROUP, LLC,
an Ohio limited liability company

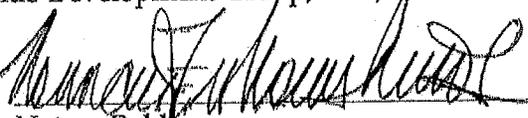

By: Kristin Landolt
Its: Authorized Representative

STATE OF Ohio :
COUNTY OF Hamilton : ss:
:

The foregoing instrument was acknowledged before me on May 2, 2025 by ^{(NP) Kristin} Kristin Landolt, Authorized Representative of Parkside Development Group, LLC, an Ohio limited liability company, on behalf of the company.



Norman John Frankowski, II, Attorney At Law
NOTARY PUBLIC - STATE OF OHIO
My commission has no expiration date
Sec 147.03 O.H.C.


Notary Public

This instrument prepared for independent review of Grantor by : Norman J. Frankowski, II, Esq.,
Flagel & Papakirk LLC, 50 E-Business Way, Suite 410, Cincinnati, Ohio 45241, (513) 984-8111.

DESCRIPTION ACCEPTABLE
HAMILTON COUNTY ENGINEER

Tax Map - May 12 2025 DV

CAGIS - _____

EXHIBIT A

PARCELS 1 - 9 (Parcel 10 intentionally omitted):

Situated in Section 18, Town 5, Entire Range 1, Symmes Township, City of Loveland, Hamilton County, Ohio, and being Lots 1 thru 9 ----- depicted in Highland Street Residences, Phase 1 Subdivision, as recorded in Plat Book 497, Page 32 of the Hamilton County, Ohio records.

- Parcel Nos.: 621-6-259 st
- 621-6-260 st
- 621-6-261 st
- 621-6-262 st
- st 621-6-263
- 621-6-264 st
- st 621-6-265
- 621-6-266 st
- st 621-6-267

PARCELS 11 - 12:

Situate in Section 18, Town 5, Range 1, Symmes Township, Hamilton County, Ohio and being Lots 10 and 11 of J. V. Cushing's Subdivision of Loveland, being a resubdivision of Lot 21 of the Cincinnati Savings Society's Addition to Loveland, a plat of which is recorded in Plat Book 13, Page 118, Hamilton County, Ohio Records.

Lot 10 fronts on the north side of Main Street 56.375 feet and runs back northwardly along the west line of Highland Street the same width 252.70 feet.

Lot 11 fronts on the north side of Main Street, 86.375 feet and runs back northwardly the same width 252.70 feet.

- Parcel Nos.: 621-0006-0012-00 st
- 621-0006-0013-00
- st

Scott Crowley
Hamilton County Recorder's Office
Doc #: 2023-0027698 Type: PL
Filed: 04/25/23 12:09:17 PM \$86.40
Off.Rec.: 14902 00520 F 1 129

PLAT



SEE NEXT PAGE TO VIEW IMAGE

BOOK 497

PAGE 32

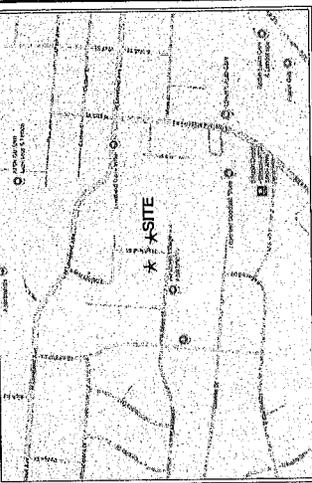
OWNER(S): Parkside Development Group, LLC

TYPE/NAME: Highland Street Residences Subdivision Phase I

(ATTACHED TO: O.R. N/A PG N/A)

HIGHLANDS OF LOVELAND

SECTION 13, TOWN 5, E. RANGE 1 BTM CITY OF LOVELAND HAMILTON COUNTY, OHIO



BENCHMARK #1
A CEMENT CONCRETE MONUMENT
SIDE OF WEST MAIN STREET
42 FEET WEST FROM THE EASTING FACE OF CURB
ELEVATION: 1025.24
EASTING: 1025.24
NORTHING: 1025.24

BENCHMARK #2
A CEMENT CONCRETE MONUMENT
SIDE OF WEST MAIN STREET
42 FEET WEST FROM THE EASTING FACE OF CURB
ELEVATION: 1025.24
EASTING: 1025.24
NORTHING: 1025.24

LEGEND

- 1" = 10' Scale
- 1" = 20' Scale
- 1" = 40' Scale
- 1" = 80' Scale
- 1" = 160' Scale
- 1" = 320' Scale
- 1" = 640' Scale
- 1" = 1280' Scale
- 1" = 2560' Scale
- 1" = 5120' Scale
- 1" = 10240' Scale
- 1" = 20480' Scale
- 1" = 40960' Scale
- 1" = 81920' Scale
- 1" = 163840' Scale
- 1" = 327680' Scale
- 1" = 655360' Scale
- 1" = 1310720' Scale
- 1" = 2621440' Scale
- 1" = 5242880' Scale
- 1" = 10485760' Scale
- 1" = 20971520' Scale
- 1" = 41943040' Scale
- 1" = 83886080' Scale
- 1" = 167772160' Scale
- 1" = 335544320' Scale
- 1" = 671088640' Scale
- 1" = 1342177280' Scale
- 1" = 2684354560' Scale
- 1" = 5368709120' Scale
- 1" = 10737418240' Scale
- 1" = 21474836480' Scale
- 1" = 42949672960' Scale
- 1" = 85899345920' Scale
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GRADING NOTES

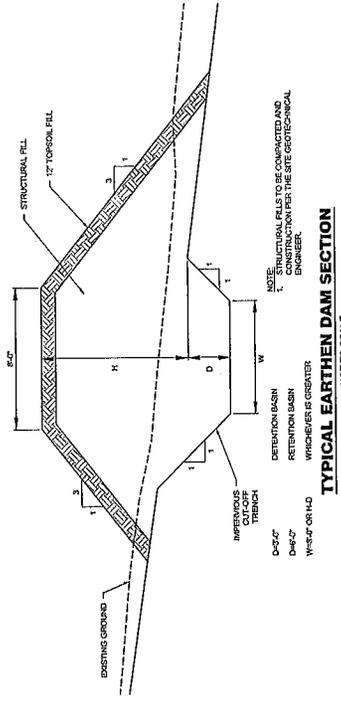
- A. THE ENTIRE SITE SHALL BE MAINTAINED AT ONE TIME.
- B. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REPRESENT FINAL GRADES AND THEY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL MAINTAIN THE ELEVATIONS OF THE EXISTING AND PROPOSED CONTOURS THROUGHOUT THE CONSTRUCTION PERIOD.
- C. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONTOURS THROUGHOUT THE CONSTRUCTION PERIOD.
- D. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAR ALL AREAS AS INDICATED BY THE ENGINEER. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONTOURS THROUGHOUT THE CONSTRUCTION PERIOD.
- E. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONTOURS THROUGHOUT THE CONSTRUCTION PERIOD.
- F. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONTOURS THROUGHOUT THE CONSTRUCTION PERIOD.
- G. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONTOURS THROUGHOUT THE CONSTRUCTION PERIOD.
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- N. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONTOURS THROUGHOUT THE CONSTRUCTION PERIOD.
- O. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONTOURS THROUGHOUT THE CONSTRUCTION PERIOD.
- P. CONTRACTOR SHALL MAINTAIN ALL EXISTING AND PROPOSED CONTOURS THROUGHOUT THE CONSTRUCTION PERIOD.

SWPPP NOTES

1. THE CONTRACTOR SHALL MAINTAIN A CONCRETE WEIGHT FRACTION PER CITY OF LOVELAND STANDARDS.
2. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES TO PREVENT SOIL EROSION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE MINIMUM NECESSARY TO MAINTAIN THE CONSTRUCTION SCHEDULE.
4. ALL MATERIALS AND EROSION CONTROL MEASURES ON THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL MAINTAIN RECORDS OF ALL INSPECTIONS AND CORRECTIVE ACTIONS.
5. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL MAINTAIN RECORDS OF ALL INSPECTIONS AND CORRECTIVE ACTIONS.
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CONSTRUCTION SEQUENCE AND EROSION CONTROL NOTES

1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES.
2. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES TO PREVENT SOIL EROSION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE MINIMUM NECESSARY TO MAINTAIN THE CONSTRUCTION SCHEDULE.
4. ALL MATERIALS AND EROSION CONTROL MEASURES ON THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION AND SHALL MAINTAIN RECORDS OF ALL INSPECTIONS AND CORRECTIVE ACTIONS.
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TYPICAL EARTHEN DAM SECTION
NOT TO SCALE

HIGHLANDS OF LOVELAND
GEOTON 13, TOWN 5, RANGE 1 BTM
CITY OF LOVELAND
HAMILTON COUNTY, OHIO

boyer
www.boyerinc.com
6000 Franklin Road, Suite A
Mason, OH 45040 • 513.338.5000

PROJECT NO.: 2023-046
DATE: 02/28/23
SHEET NO.: 10

C5.1

CRISTO HOMES

W MAIN ST & HIGHLAND ST LANDSCAPE PLAN

NORVELL'S TURF MANAGEMENT
7548 ER CROOK ROAD
MIDDLETOWN, OH 45042 • (513) 423-2009

CITY OF LOVBAND, HAMILTON CO., OHIO
LANDSCAPE PLAN
W MAIN ST & HIGHLAND ST

DATE: 11/11/2011
DRAWN BY: J. CRISTO
CHECKED BY: J. CRISTO
SCALE: AS SHOWN
PROJECT NO: 11-001

L1.1

PLANT SCHEDULE

TREES	QUANTITY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	REMARKS
	16	Prunella Prickashorn	Prickashorn Elm	15 GAL. 3" 1/2" MIN. 15 GAL. 3" 1/2" MIN.	Specimen

SHRUBS	QUANTITY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	REMARKS
	2	Rosa x 'Green Mountain'	Green Mountain Rose	15 GAL. 3" 1/2" MIN.	
	28	Rubus glabris	Blackberry	15 GAL. 3" 1/2" MIN.	POB
	23	Taxus x media 'Nickel'	Hecht Yew	15 GAL. 3" 1/2" MIN.	

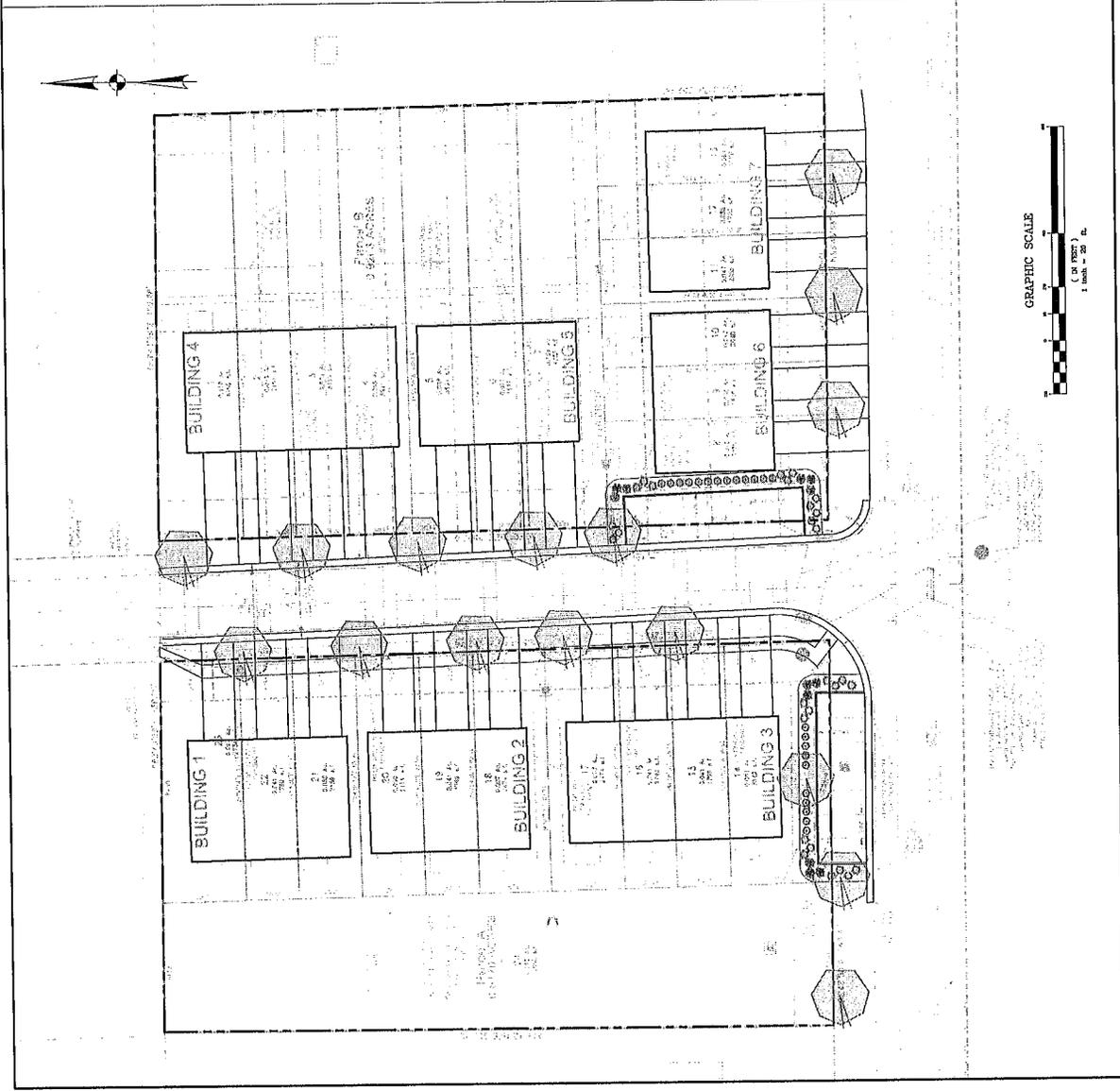


EXHIBIT "C"

Special Planning District (SPD) 20

Highlands of Loveland

Development Guidelines Pursuant to
Section 1151.05

SPD – Development Standards
Highlands of Loveland
City of Loveland, Hamilton County, Ohio

General Information

Applicant: JA Development, LLC
7594 Tylers Place Blvd.
West Chester, OH 45069

Property Owner: JA Development, LLC
7594 Tylers Place Blvd.
West Chester, OH 45069

Subject Property: Approx. 1.7433 acres
Intersection of Highland and W.
Main St. Loveland, OH 45140

Highland Street (Parcel #s:
62100060013, 62100060012,
62100060267, 62100060266,
62100060265, 62100060264,
62100060263, 62100060262,
62100060261)

Main Street (Parcel #s:
62100060259, 62100060260)

Project Developer: JA Development, LLC
7594 Tylers Place Blvd.
West Chester, OH 45069

Existing Zoning: Residential Multi-Family

Proposed Zoning: Residential SPD

Development Standards

General:

1. The SPD is intended to establish 23 building lots for residential homes.

Principal Permitted Uses:

1. Permitted use is Single-Family Home.

Accessory Uses:

1. Allowable accessory use structures to meet development guidelines in section 1151.05

Accessory use structures shall be located in the rear yard only and shall meet the following conditions:

- a) For all lots less than one acre, accessory structures shall have an average height of no greater than fifteen (15) feet and shall be limited to six hundred (600) square feet, or 35% of the required rear yard, which ever is less.*
- b) For all lots one acre or greater, accessory structures shall have an average height of no greater than fifteen (15) feet and shall be limited to six hundred and one (601) to twelve hundred (1,200) square feet, or 35% of the required rear yard, which ever is less. For any accessory use structure greater than six hundred (600) square feet, the applicant must receive a conditional use approval pursuant to the procedures in §1111.06 of this Zoning Code.*
- c) All accessory use structures greater than two hundred (200) square feet shall not be constructed with a metal facade and shall be complimentary to the principle structure on the property.*
- d) Accessory use structures two hundred (200) square feet or less in size shall be located no closer than six (6) feet from any lot line. Accessory use structures over two hundred (200) square feet shall be located no closer than fifteen (15) feet from any lot line.*
- e) Accessory use structures located on property with access to two or more streets shall be adequately screened to reduce the visual impacted to the surrounding homes.*

Maximum Number of Units, Density, and Units per Building:

1. The maximum number of units for the development shall be 23 dwelling units.
2. The maximum density shall not exceed 1 dwelling unit per lot.

Phasing:

1. The development is expected to be a single phase in 2026.

Lot Size and Minimum Setbacks:

1. Minimums for lot size, setbacks, and more are listed in table below. Building area is outlined on the proposed development plan.

	Minimum
Lot Area	1690 Sq. Ft.
Lot Width	20'
Front Yard Set Back	15'
Side Yard Setback	0' (See Attachment B for each lot)
Rear Yard Setback	15'
	Maximum
Structure Height (principal)	35' (2-story units)
Structure Height (accessory)	15'
Floor Area (lot)	48%
Impervious Surface (lot)	75%

Open Space:

1. Open space shall consist of 0.295 acres / 16.9% total development.
2. All open space parcels shall be owned and maintained by developer.

Perimeter Buffer and Landscaping:

1. Refer to Landscape Plan, **L1.1**.

Vehicular Access, Circulation, Parking:

1. Off-street parking to be provided as shown in C3.0 within right-of-way.
2. 9' x 18' typical space (8' x 18' ADA with 5' hatched area).
3. 14 Total Parking Spaces, including 1 ADA.
4. All parking spaces to be curbed with 6" barrier curb and rolled curb and gutter.
5. No backstops, utilization of 6" barrier curb for backstop.

Pedestrian Access and Circulation:

1. Sidewalks to be installed on west side of Highland.

Utilities Service:

1. All utilities shall be public.
2. All new utilities shall be constructed, installed, and maintained to the standards of the City of Loveland Engineering department.
3. All new utilities shall be located underground.
4. Water service shall be from City of Loveland.
5. Curbside Residential trash service.

Signage:

1. Monument sign proposed, 6' x 30", brick. Location as shown on **C3.0**.

Architectural and Design Requirements:

1. Vinyl Siding should be Board & Batten or Horizontal lap.
2. Slab foundations.
3. Asphalt Shingles.
4. Vinyl Windows.
5. Fiberglass painted front doors.
6. Painted Composite exterior trim and columns.
7. Brick Veneer.
8. Reference Architectural rendering, **Attachment D**.

Lighting:

1. Garage and entry door lights only.

Homeowners Association Requirements and Responsibilities:

1. HOA to be formed.
2. Responsible for maintenance and operation of all private easements, parking locations, detention basins.

Attachment A – Legal Description

Attachment B – Proposed Development Plan

Attachment C – Landscape Plan

Attachment D – Exterior Rendering, Proposed Elevation, Signage

ATTACHMENT "A"

Special Planning District (SPD) 20

Highlands of Loveland

Legal Descriptions

15416 00621

Convey number: 381954
Deed number: 25-653879
Instr. number: 25-656731
Transfer date: 05/14/2025
Sec.: 319.202, R.C.
Sec.: 322.02 R.C.
Jessica Miranda
Hamilton County Auditor
Sales Amount: 450,000.00
Permissive fee: 900.00
Transfer fee: 5.50
Conveyance fee: 450.00

Scott Crowley
Hamilton County Recorder's Office
Doc #: 2025-0035310 Type: DE
Filed: 05/14/25 08:25:02 AM \$42.00
Off. Rec.: 15416 00621 F 3 104



GENERAL WARRANTY DEED

PARKSIDE DEVELOPMENT GROUP, LLC, an Ohio limited liability ("Grantor"), for valuable consideration paid, grants, with general warranty covenants, to **J.A. DEVELOPMENT, LLC**, an Ohio limited liability company whose tax-mailing address is 7594 Tylers Place Blvd., Suite A, West Chester, OH 45069 ("Grantee") the following real property ("Property"):

**SEE EXHIBIT "A" ATTACHED HERETO
AND MADE A PART HEREOF**

There are excepted from the general warranty covenants and the Property is conveyed subject to the lien of non-delinquent taxes.

Prior instrument references:

Off. Rec. 14335, Page 00292 of the Official Records of the Hamilton County, Ohio Recorder;

Off. Rec. 14253, Page 00777 of the Official Records of the Hamilton County, Ohio Recorder

Hamilton County, Ohio Parcel Identification Nos. 621-0006-0259 through 621-0006-0267, inclusive, 621-0006-0012 and 621-0006-0013 (11 total parcels)

[The remainder of this page is intentionally left blank exclusive of footers, if any.]

Tax Map - May 12 2025 DV

CAGIS - _____

EXHIBIT A

PARCELS 1 - 9 (Parcel 10 intentionally omitted):

Situated in Section 18, Town 5, Entire Range 1, Symmes Township, City of Loveland, Hamilton County, Ohio, and being Lots 1 thru 9 ----- depicted in Highland Street Residences, Phase 1 Subdivision, as recorded in Plat Book 497, Page 32 of the Hamilton County, Ohio records.

- Parcel Nos.: 621-6-259 st
- 621-6-260 st
- 621-6-261 st
- 621-6-262 st
- st 621-6-263
- 621-6-264 st
- st 621-6-265
- 621-6-266 st
- st 621-6-267

PARCELS 11 - 12:

Situate in Section 18, Town 5, Range 1, Symmes Township, Hamilton County, Ohio and being Lots 10 and 11 of J. V. Cushing's Subdivision of Loveland, being a resubdivision of Lot 21 of the Cincinnati Savings Society's Addition to Loveland, a plat of which is recorded in Plat Book 13, Page 118, Hamilton County, Ohio Records.

Lot 10 fronts on the north side of Main Street 56.375 feet and runs back northwardly along the west line of Highland Street the same width 252.70 feet.

Lot 11 fronts on the north side of Main Street, 86.375 feet and runs back northwardly the same width 252.70 feet.

- Parcel Nos.: 621-0006-0012-00 st
- 621-0006-0013-00
- st

Scott Crowley
Hamilton County Recorder's Office
Doc #: 2023-0027698 Type: PL
Filed: 04/25/23 12:09:17 PM \$86.40
Off.Rec.: 14902 00520 F 1 129

PLAT



SEE NEXT PAGE TO VIEW IMAGE

BOOK 497

PAGE 32

OWNER(S): Parkside Development Group, LLC

TYPE/NAME: Highland Street Residences Subdivision Phase I

(ATTACHED TO: O.R. N/A PG NA)

ATTACHMENT "B"

Special Planning District (SPD) 20

Highlands of Loveland

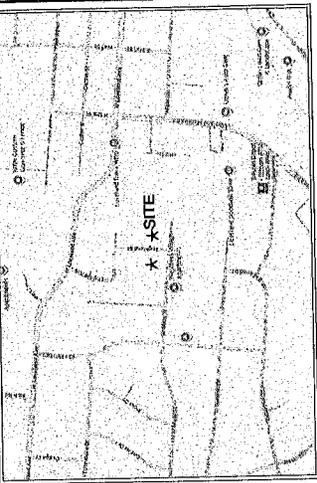
Proposed Development Plan

HIGHLANDS OF LOVELAND

SECTION 13, TOWN 5, E. RANGE 1 BTM

CITY OF LOVELAND

HAMILTON COUNTY, OHIO



VICINITY MAP
NO SCALE

BENCHMARK #1
A CROSS NOTCH ALONG THE SOUTH SIDE OF WEST MAIN STREET
20' WEST FROM AN EXISTING UTILITY POLE AND
ELEVATION: 424.1
NORTH-SOUTH COORDINATE
EAST-WEST COORDINATE

BENCHMARK #2
A CROSS NOTCH ALONG THE SOUTH SIDE OF WEST MAIN STREET
4' EAST FROM AN EXISTING UTILITY POLE AND
ELEVATION: 424.1
NORTH-SOUTH COORDINATE
EAST-WEST COORDINATE

OWNER/DEVELOPER
J.A. Development
7700-A Third Place, Bellerose
Bellerose, Ohio 45008
jacob@jacobdevelopment.com

ENGINEER, SURVEYOR & LANDSCAPE ARCHITECT
J.A. Development
7700-A Third Place, Bellerose
Bellerose, Ohio 45008
jacob@jacobdevelopment.com

UTILITY COMPANIES
Metropolitan Sewer District
Water
Duke Energy
Champlain Water
Ohio Gas Corporation

LEGEND

- 1" = 10' Scale
- 1" = 20' Scale
- 1" = 40' Scale
- 1" = 80' Scale
- 1" = 160' Scale
- 1" = 320' Scale
- 1" = 640' Scale
- 1" = 1280' Scale
- 1" = 2560' Scale
- 1" = 5120' Scale
- 1" = 10240' Scale
- 1" = 20480' Scale
- 1" = 40960' Scale
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- 1" = 60708



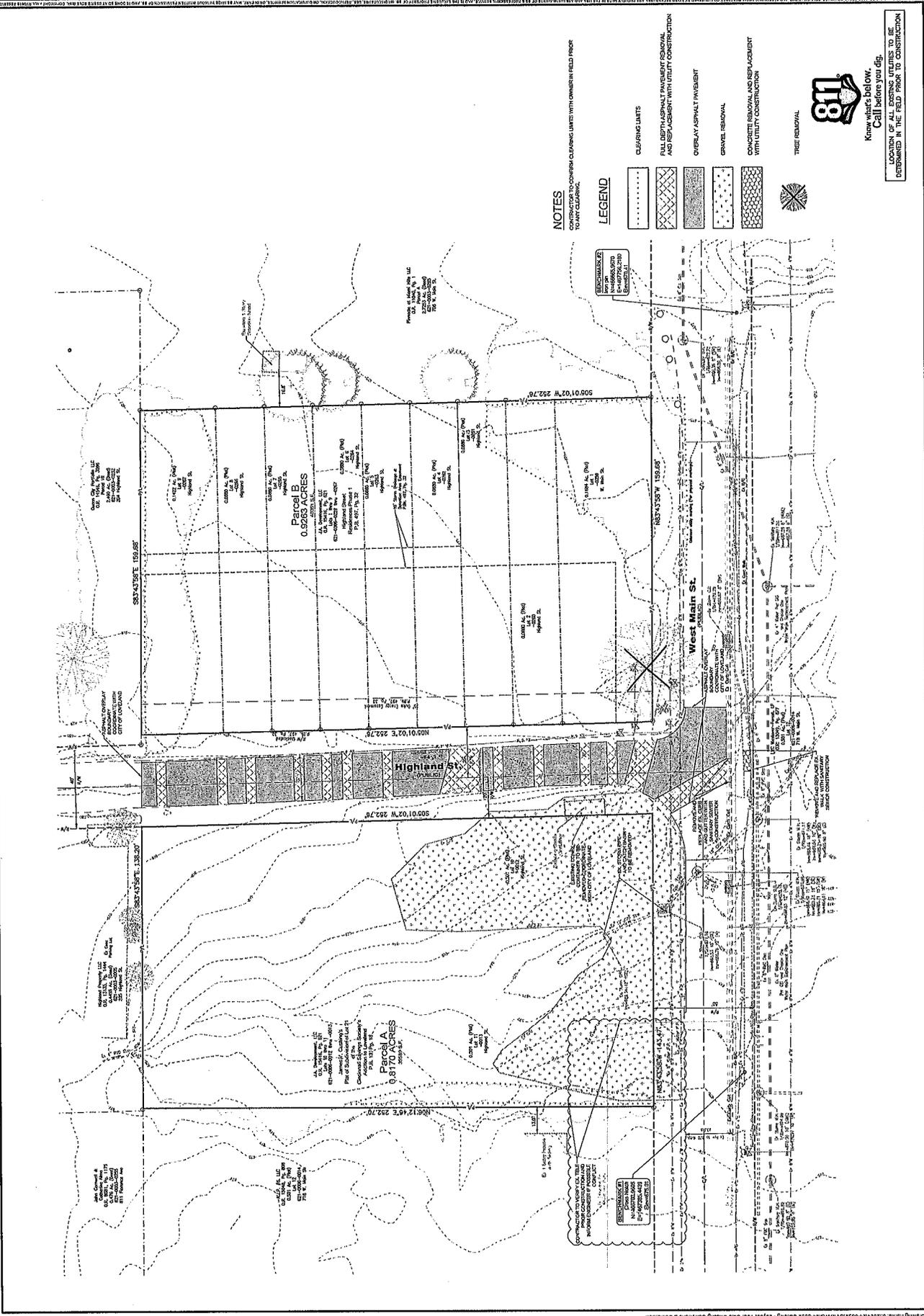
DATE	05/20/25
BY	JAS
CHECKED BY	JAS
SCALE	AS SHOWN
PROJECT	EXISTING CONDITIONS & DEMOLITION PLAN

NO.	DATE	DESCRIPTION
1	05/20/25	ISSUED FOR PERMIT
2	05/20/25	ISSUED FOR CONSTRUCTION
3	05/20/25	ISSUED FOR RECORD

HIGHLANDS OF LOVELAND
 BECTON 13, TOWN 5, E. RANGE 1 BTM
 CITY OF LOVELAND
 HAMILTON COUNTY, OHIO

bayer
 6000 Parkside Blvd., Suite A
 Mason, OH 45040 • 513.330.8000
 www.bayer.com

C2.0



NOTES
 CONTRACTOR TO CONFORM CLEARING LIMITS WITH OWNER'S FIELD PRIOR TO START CLEARING.

LEGEND

- CLEARING LIMITS
- FULL DEPTH ASPHALT PAVEMENT REMOVAL AND REPLACEMENT WITH UTILITY CONSTRUCTION
- OVERLAY ASPHALT PAVEMENT
- GRAVEL REMOVAL
- CONCRETE REMOVAL AND REPLACEMENT WITH UTILITY CONSTRUCTION
- TREE REMOVAL

118
 Know what's below.
 Call before you dig.
 LOCATION OF ALL EXISTING UTILITIES TO BE DEMONISHED IN THE FIELD PRIOR TO CONSTRUCTION.



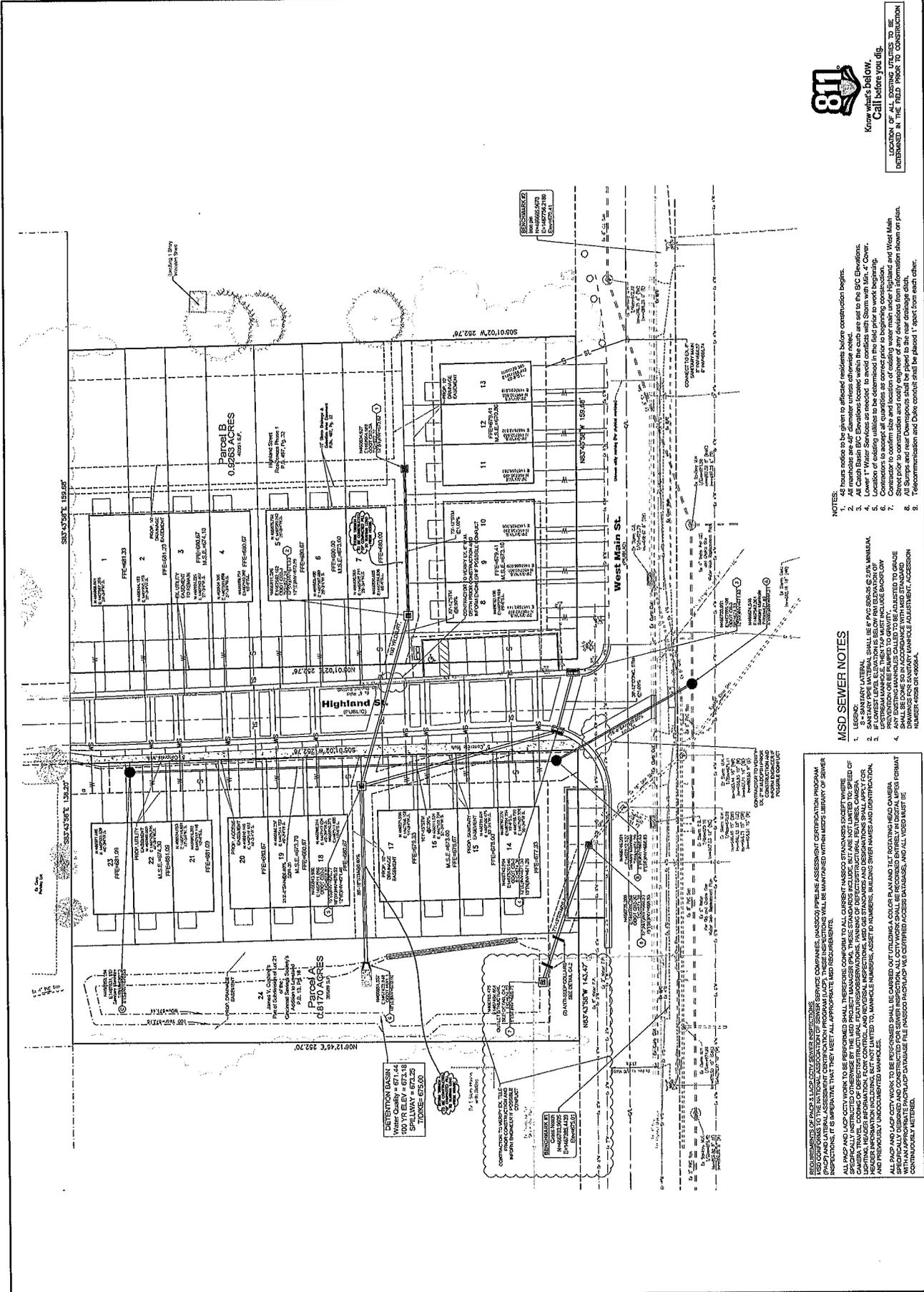
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5	07/05/23	REVISIONS TO PERMIT
6	07/12/23	REVISIONS TO PERMIT
7	07/19/23	REVISIONS TO PERMIT
8	07/26/23	REVISIONS TO PERMIT
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100	04/30/25	REVISIONS TO PERMIT

HIGHLANDS OF LOVELAND
 REGION 13, TOWN E, RANGE 1 B7M
 CITY OF LOVELAND
 HAMILTON COUNTY, OHIO

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 Mason, OH 45424 • 513.330.0000
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PROJECT NO. 241872-023
 SHEET NO. 10
 DATE 05/23/23

C4.0



LOCATION OF ALL EXISTING UTILITIES TO BE DELETED IN THE FIELD PRIOR TO CONSTRUCTION

- NOTES:**
1. Manhole shall be placed in affected roadway before construction begins.
 2. All manholes are 48" diameter unless otherwise noted.
 3. All Catch Basin B/C Elevations located within the curb are set to the B/C Elevations.
 4. Lower 1" Water Services as needed. In areas where storm water is not to be collected, provide 1" Water Services as needed. Storm water to be collected shall be collected in a Catch Basin.
 5. Catch Basins shall be provided in accordance with the City of Loveland Specifications for Catch Basins.
 6. Catch Basins shall be provided in accordance with the City of Loveland Specifications for Catch Basins.
 7. Catch Basins shall be provided in accordance with the City of Loveland Specifications for Catch Basins.
 8. All Stamps and Seal Downspouts shall be placed to the rear drainage side.
 9. Telecommunication and Data conduit shall be placed 1' apart from each other.

- MSD SEWER NOTES**
1. ALL SANITARY LATERAL
 2. SANITARY PIPE MATERIAL SHALL BE 8" PVC SDR35 OR 8" PVC SDR35 MINIMUM.
 3. ALL SANITARY LATERALS SHALL BE 8" PVC SDR35 OR 8" PVC SDR35 MINIMUM.
 4. ANY EXISTING MANHOLES CALLED TO BE ADJUSTED TO GRADE SHALL BE DONE SO IN ACCORDANCE WITH MSD STANDARD SPECIFICATIONS FOR MANHOLES AND ACCESSORIES. TELECOMMUNICATION AND DATA CONDUIT SHALL BE PLACED 1' APART FROM EACH OTHER.

REQUIREMENTS OF PAR 3-1 LACP CITY SEWER INSPECTION PROGRAM (PACP) AND LATERAL ASSESSMENT CERTIFICATION PROGRAM (LACP). THESE INSPECTIONS WILL BE MAINTAINED WITHIN MSD'S LIBRARY OF SEWER INSPECTIONS. IT IS IMPERATIVE THAT THEY MEET ALL APPLICABLE CODE REQUIREMENTS.

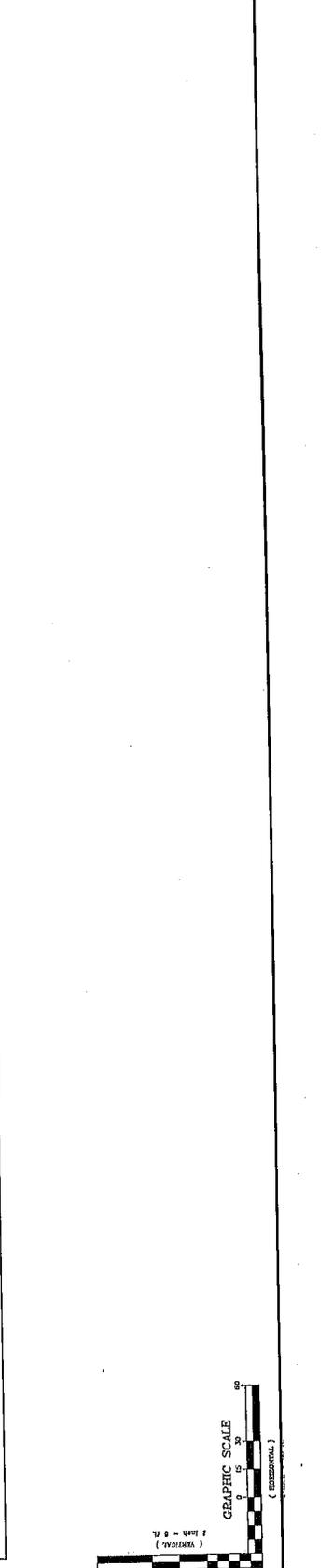
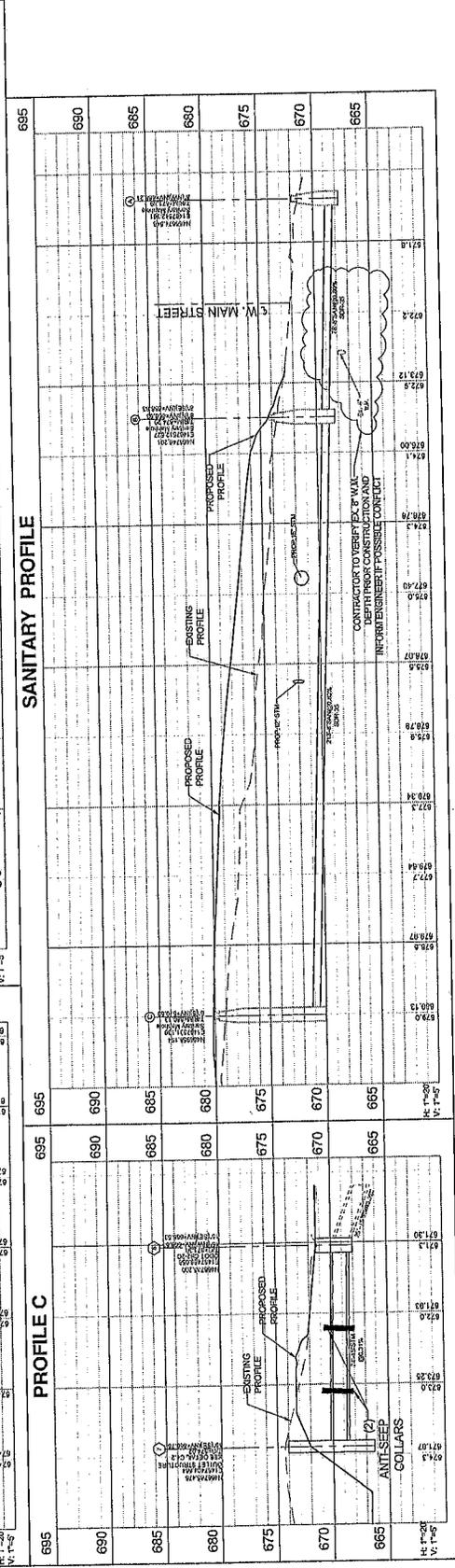
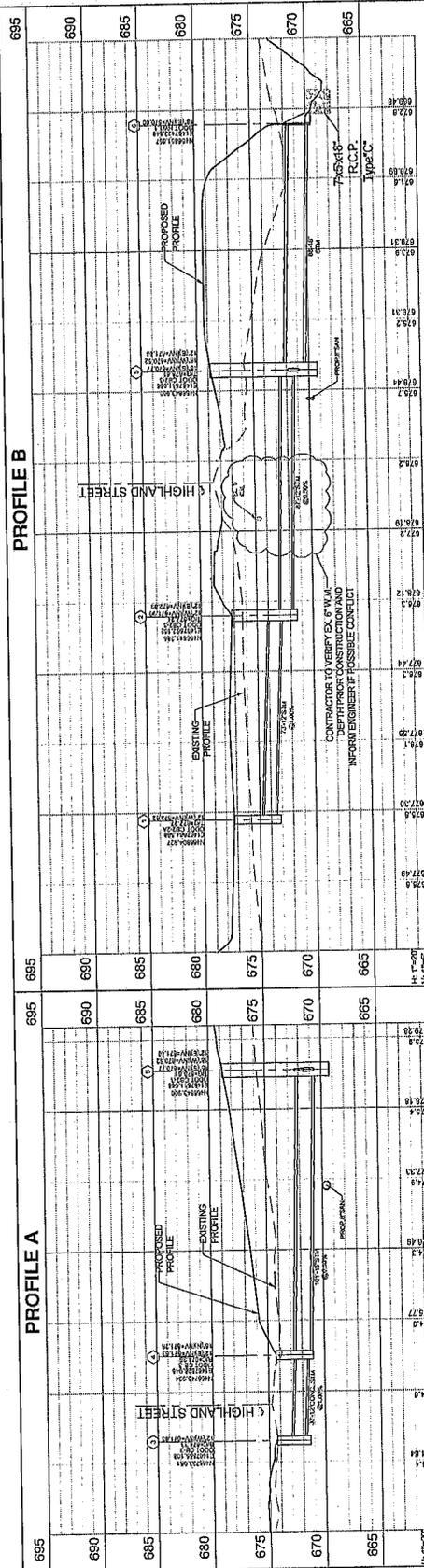
ALL PACP AND LACP WORK TO BE PERFORMED SHALL BE IN ACCORDANCE WITH THE CITY OF LOVELAND SPECIFICATIONS FOR SEWER INSPECTION PROGRAM. THESE SPECIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO: SPEED OF CAMERA TRAVEL, CODING OF DEFECTS/STRUCTURAL PATTERNS/OBSERVATIONS, DRAWINGS OF DEFECTS/STRUCTURAL PATTERNS/OBSERVATIONS, CAMERA LOGS, INSPECTION REPORTS INCLUDING, BUT NOT LIMITED TO, MANHOLE NUMBERS, BUILDING SWEET NAMES AND IDENTIFICATION, AND PREVIOUSLY UNDOCUMENTED MANHOLES.

ALL PACP AND LACP WORK TO BE PERFORMED SHALL BE CARRIED OUT UTILIZING A COLOR PLAN AND TO BE RECORDED IN THE CITY OF LOVELAND'S SEWER INSPECTION PROGRAM. THE COLOR PLAN SHALL BE CARRIED OUT UTILIZING A COLOR PLAN AND TO BE RECORDED IN THE CITY OF LOVELAND'S SEWER INSPECTION PROGRAM. THE COLOR PLAN SHALL BE CARRIED OUT UTILIZING A COLOR PLAN AND TO BE RECORDED IN THE CITY OF LOVELAND'S SEWER INSPECTION PROGRAM.

WITH AN APPROPRIATE PACP/LACP DATABASE FILE (NASSCO PACP/LACP VEG CERTIFIED ADDRESS DATABASE), AND ALL VIDEOS MUST BE CONTINUOUSLY METERS.



C4.1



GRAPHIC SCALE
 1" = 10' (VERTICAL)
 1" = 50' (HORIZONTAL)

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GRADING NOTES

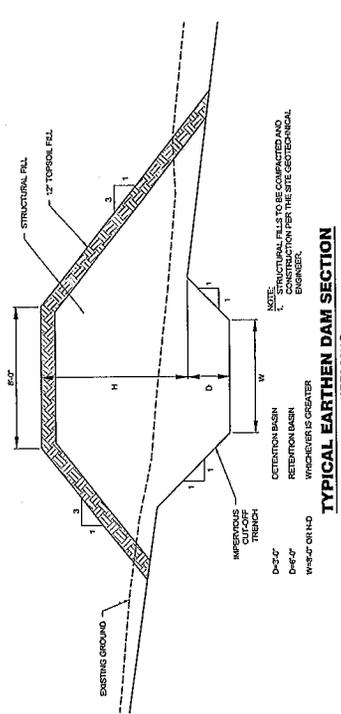
- A. THE ENTIRE SITE WILL BE MAINTAINED AT ONE ELEVATION.
- B. ALL PROPOSED CURBS AND SLOPE ELEVATIONS REPRESENT FINAL DESIGN AND MUST BE SHOWN ON THE PLAN. ALL EXISTING PAVED SURFACES SHALL BE MAINTAINED AT EXISTING ELEVATION UNLESS OTHERWISE NOTED.
- C. ALL EXISTING PAVED SURFACES SHALL BE MAINTAINED AT EXISTING ELEVATION UNLESS OTHERWISE NOTED.
- D. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER.
- E. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER.
- F. TOP OF ALL EXISTING CONCRETE FOUNDATIONS SHALL BE MAINTAINED AT EXISTING ELEVATION UNLESS OTHERWISE NOTED.
- G. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER.
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- O. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER.
- P. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER. CONTRACTOR SHALL REMOVE ALL TREES AND CLEAN ALL AREAS AS DETERMINED BY THE ENGINEER.

SWPPP NOTES

1. THE CONTRACTOR SHALL MAINTAIN AND MINIMIZE CONCRETE WASHOUT FROM THE SITE AT ALL TIMES.
2. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE MAINTAINED ON THE SITE AT ALL TIMES. ADDITIONAL BMPs MAY BE REQUIRED TO PREVENT EROSION AND SEDIMENTATION FROM THE SITE.
4. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN AND MINIMIZE CONCRETE WASHOUT FROM THE SITE AT ALL TIMES.
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20. THE CONTRACTOR SHALL MAINTAIN AND MINIMIZE CONCRETE WASHOUT FROM THE SITE AT ALL TIMES.

CONSTRUCTION SEQUENCE AND EROSION CONTROL NOTES

1. CLEARING AND GRADING FOR THESE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PREVENTION CONTROL MEASURES.
2. INSTALL CONSTRUCTION ENTRANCE.
3. INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO GRADING AND OTHER CONSTRUCTION ACTIVITIES.
4. NORMAL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
5. TEMPORARY VEGETATIVE STABILIZATION OF EROSION AND SEDIMENT CONTROL MEASURES.
6. BULK GRADING OF EXISTING PAVED AND DETENTION BASIN.
7. THE CONTRACTOR MUST INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY CONSTRUCTION ACTIVITIES AND REPORT ANY DEFICIENCIES TO THE ENGINEER.
8. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. THE CONTRACTOR SHALL MAINTAIN AND MINIMIZE CONCRETE WASHOUT FROM THE SITE AT ALL TIMES.
10. THE CONTRACTOR SHALL MAINTAIN AND MINIMIZE CONCRETE WASHOUT FROM THE SITE AT ALL TIMES.
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19. THE CONTRACTOR SHALL MAINTAIN AND MINIMIZE CONCRETE WASHOUT FROM THE SITE AT ALL TIMES.
20. THE CONTRACTOR SHALL MAINTAIN AND MINIMIZE CONCRETE WASHOUT FROM THE SITE AT ALL TIMES.



TYPICAL EARTHEN DAM SECTION
NOT TO SCALE

STRUCTURAL FILL TO BE COMPACTED AND CONSTRUCTION PER THE SITE GEOTECHNICAL ENGINEER.

RETENTION BASIN
RETENTION WALL
RETENTION BASIN
WHICH IS GREATER THAN 10% OF THE DAM HEIGHT.

bayler
www.bayler.com
1000 FRENCH ROAD, SUITE 100
MARIETTA, OHIO 44130-1000
Phone: 440-463-8130
Fax: 440-463-8131

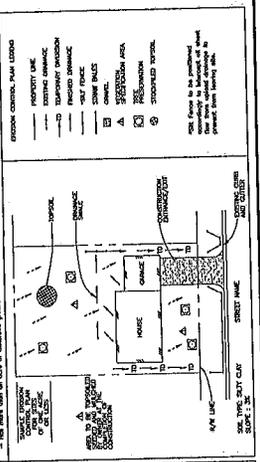
HIGHLANDS OF LOVELAND
REGION 13, TOWN & RANGE 1 BTR
CITY OF LOVELAND, OHIO

GRADING DETAILS

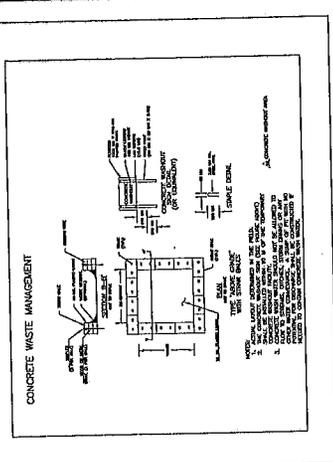
C5.1



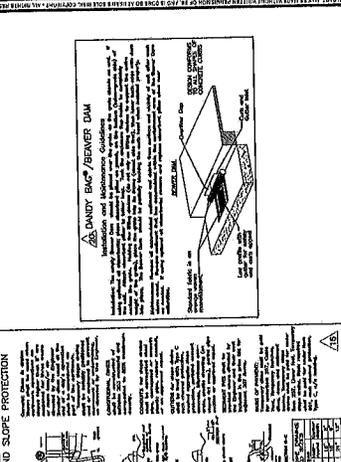
Revision Description table with columns for Date, Description, and Author



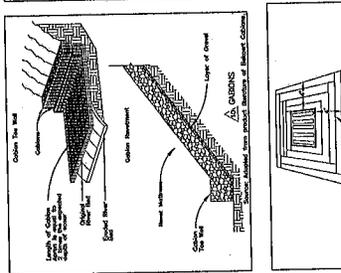
EROSION CONTROL FOR INDIVIDUAL LOTS & SMALL SITES
Typical Lawn Sand Mixture
WARNING: This mixture may be used for 1 year after...



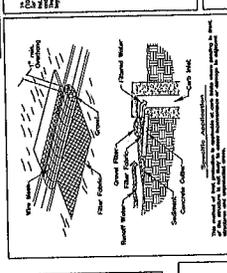
CONCRETE WASTE MANAGEMENT
1. The concrete curb shall be constructed of 20-40 concrete...



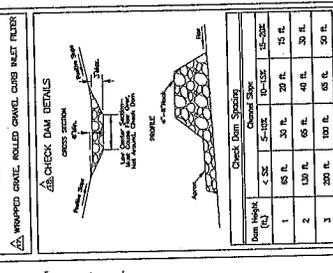
HANDY BACK BEAVER DAM
Installation and Maintenance Guidelines
1. The dam shall be constructed of natural materials...



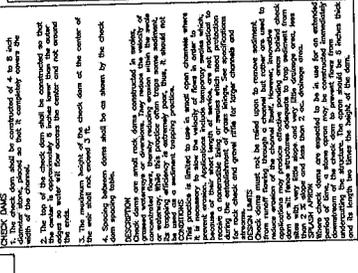
SEDIMENT TRAPS & BANKS
1. The trap shall be constructed of concrete or masonry...



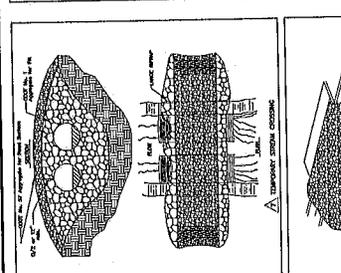
CHECK DAM DETAILS
1. The check dam shall be constructed of 20-40 concrete...



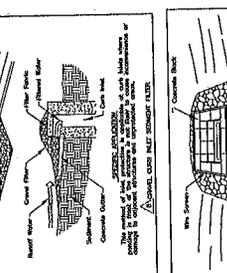
DROP INLET SEDIMENT FILTER
1. The filter shall be constructed of 20-40 concrete...



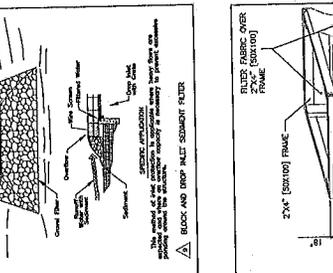
BLOCK AND DROP INLET SEDIMENT FILTER
1. The filter shall be constructed of 20-40 concrete...



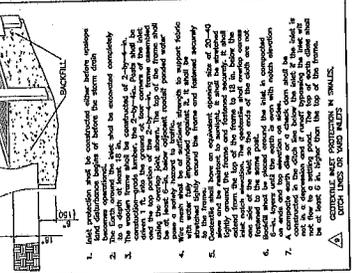
RIPPRAP CURB INLET SEDIMENT FILTER
1. The filter shall be constructed of 20-40 concrete...



ROLLER FABRIC CURB INLET SEDIMENT FILTER
1. The filter shall be constructed of 20-40 concrete...



CURB INLET SEDIMENT FILTER
1. The filter shall be constructed of 20-40 concrete...



EROSION CONTROL DETAILS
1. The filter shall be constructed of 20-40 concrete...

GENERAL NOTES
1. All work shall be in accordance with the specifications...

STANDARD ROADWAY CONSTRUCTION DRAWING
CONCRETE CURBS AND COMBINED CURB AND GUTTER

OFFICE OF ROADWAY ENGINEERING
 PROFESSIONAL ENGINEER
 01-11-2022
 01-12-2025
 07-28-2025
 D. Fisher
 Adam Koehnig

NOTES
 GENERAL: This drawing shows alternate types of curb that may be used on various types of pavement. The typical section of the project shows the type to be used, also the thickness of the edge of the pavement at the edge of the curb and gutter section.
 JOINTS: Expansion joints shall be spaced up to the top of the curb and shall be constructed in the curb and on the pavement. Expansion joints shall be spaced in the joint sealant with a minimum of 2" into the curb face a sufficient distance to seal the joint to an elevation of at least 2" above the flow line of the gutter. Dowel bars shall be used in the curb and gutter section at expansion joints and to the surface of the pavement.
 Transverse expansion joint material shall meet the requirements of item 705.03 of the plans.
 GUTTER PLATE THICKNESS: Thickness of gutter plate "T" shall be 9" unless otherwise shown on the plans.
 TOLERANCES: Dimensional tolerances are as follows:
 Curbs: $\pm 1/8"$ to $\pm 3/8"$.
 Gutters: 0 to $\pm 1/8"$.

LEGEND
 Expansion joint material and joint sealer are not required for the portion of the curb that is adjacent to a flexible pavement type. Both materials are required, as detailed, for the full height of rigid pavement and concrete base.

Built joints shall be provided between combined curb-and-gutter and new or existing rigid pavements, with tie bars or hook bolts provided at minimum of 5". See SCD 8P-2.3 for details of tie bars.
 If the combined curb-and-gutter adjoins a new rigid base or an existing rigid base or pavement that is to be surfaced with asphalt concrete, a joint joint shall also be provided. However, the tie or hook bolts shall be omitted when the vertical overlap ("V" in detail below) between the curb-and-gutter and rigid pavement is less than 7".

TYPE 1
 Face of Curb
 Base
 Asphalt Concrete
 2" rad. unless otherwise shown on plans
 Slope 12:1
 Surface of Pavement
 As Shown on Typical Sections in Plans

TYPE 2-A
 Surface of Pavement
 Concrete Pavement
 3" rad.
 3" rad.
 3" rad.

TYPE 2-B
 Surface of Pavement
 Wearing Course
 Concrete Base Course
 3" rad.
 3" rad.
 3" rad.

TYPE 3
 Surface of Pavement
 Slope 12:1
 2" rad. unless otherwise shown on plans
 As Shown on Typical Sections in Plans

TYPE 3-A
 Surface of Pavement
 Concrete Pavement
 10" rad.
 3" rad.
 3" rad.

TYPE 3-B
 Surface of Pavement
 Wearing Course
 Concrete Base Course
 10" rad.
 3" rad.
 3" rad.

TYPE 4
 Surface of Pavement
 Slope 12:1
 2" rad. unless otherwise shown on plans
 As Shown on Typical Sections in Plans

TYPE 4-A
 Surface of Pavement
 Concrete Pavement
 3" rad.
 3" rad.
 3" rad.

TYPE 4-B
 Surface of Pavement
 Wearing Course
 Concrete Base Course
 3" rad.
 3" rad.
 3" rad.

TYPE 4-C
 Surface of Pavement
 Joint Sealer per 705.04
 Pavement
 Approach Slab
 3" rad.
 3" rad.
 3" rad.

TYPE 6
 Surface of Pavement
 Joint Sealer per 705.04
 Pavement
 Material, Item 705.03
 3" rad.
 3" rad.
 3" rad.

TYPE 7
 Surface of Pavement
 Joint Sealer per 705.04
 Pavement
 Material, Item 705.03
 3" rad.
 3" rad.
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TYPE 7
 Surface of Pavement
 Joint Sealer per 705.04
 Pavement
 Material, Item 705.03
 3" rad.
 3" rad.
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TYPE 8
 Surface of Pavement
 Joint Sealer per 705.04
 Pavement
 Material, Item 705.03
 3" rad.
 3" rad.
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TYPE 9
 Surface of Pavement
 Joint Sealer per 705.04
 Pavement
 Material, Item 705.03
 3" rad.
 3" rad.
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TYPE 10-A
 Surface of Pavement
 Joint Sealer per 705.04
 Pavement
 Material, Item 705.03
 3" rad.
 3" rad.
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TYPE 10-B
 Surface of Pavement
 Joint Sealer per 705.04
 Pavement
 Material, Item 705.03
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TYPE 10
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STANDARD ROADWAY CONSTRUCTION DRAWING
CONCRETE CURBS AND COMBINED CURB AND GUTTER

OFFICE OF ROADWAY ENGINEERING
 PROFESSIONAL ENGINEER
 01-11-2022
 01-12-2025
 07-28-2025

ATTACHMENT "C"

Special Planning District (SPD) 20

Highlands of Loveland

Landscape Plan

ATTACHMENT "D"

Special Planning District (SPD) 20

Highlands of Loveland

Exterior Rendering, Elevations, Signage

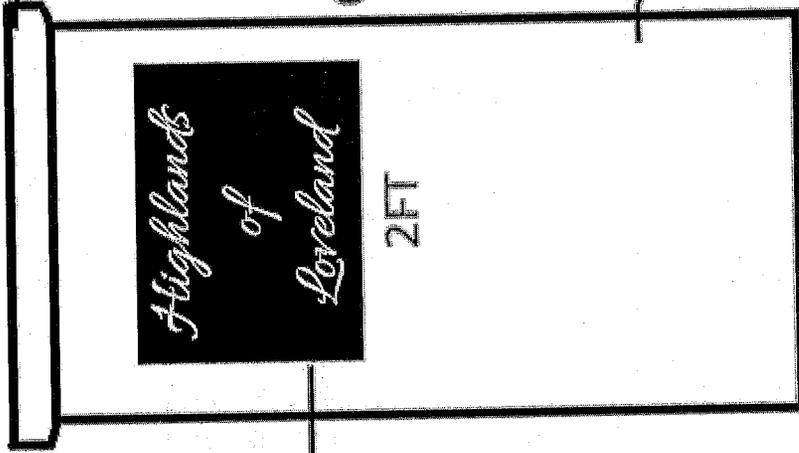
Vinyl Siding - Board & Batten
Vinyl Siding - Horizontal Lap
Asphalt Shingles
Vinyl Windows
Fiberglass Painted Front Doors
Steel Garage Doors
Painted Composite Exterior Trim and Columns
Brick Veneer

48% Maximum Lot Coverage
1,480 Minimum Living Area (SQ FT)
Slab Foundations
9FT First Floors
8FT Second Floors





4IN Tall Limestone Cap



18
INCHES

6FT Tall

2FT

Brick Column

30 Inches

Preliminary: Not for Construction

